

## LAND USE APPLICATION SUMMARY

**Property Location:** 112 Lake Street East  
**Project Name:** 112 Apartments  
**Prepared By:** Andrew Frenz, Senior City Planner, (612) 673-3790  
**Applicant:** James Tindall Jr.  
**Project Contact:** Matt Borowy  
**Request:** To construct a new four-story mixed-use building with 13 dwelling units and approximately 1,600 square feet of commercial space.

|                             |                       |
|-----------------------------|-----------------------|
| <b>Dwelling Units</b>       | 13 dwelling units     |
| <b>Non-Residential Uses</b> | Retail: 1,615 sq. ft. |

### Required Applications:

|                         |  |
|-------------------------|--|
| <b>Variance</b>         | To reduce the minimum width of a drive aisle from 20 feet to three feet.   |
| <b>Variance</b>         | To increase the maximum permitted floor area ratio in the C2 Neighborhood Corridor Commercial District from 2.125 to 2.26. |
| <b>Site Plan Review</b> | For a new four-story mixed-use building with 13 dwelling units and approximately 1,600 square feet of commercial space.    |

## SITE DATA

|                                    |   |
|------------------------------------|---|
| <b>Existing Zoning</b>             | C2 Neighborhood Corridor Commercial District<br>PO Pedestrian Oriented Overlay District |
| <b>Lot Area</b>                    | 5,437 square feet   |
| <b>Ward(s)</b>                     | 10  |
| <b>Neighborhood(s)</b>             | Whittier; adjacent to Lyndale   |
| <b>Future Land Use</b>             | Community Mixed Use   |
| <b>Goods and Services Corridor</b> | Lake Street East  |
| <b>Built Form</b>                  | Transit 15  |

|                                  |                   |                                |  |
|----------------------------------|-------------------|--------------------------------|--|
| Date Application Deemed Complete | October 21, 2020  | Date Extension Letter Sent     |  |
| End of 60-Day Decision Period    | December 20, 2020 | End of 120-Day Decision Period |  |



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**BACKGROUND**

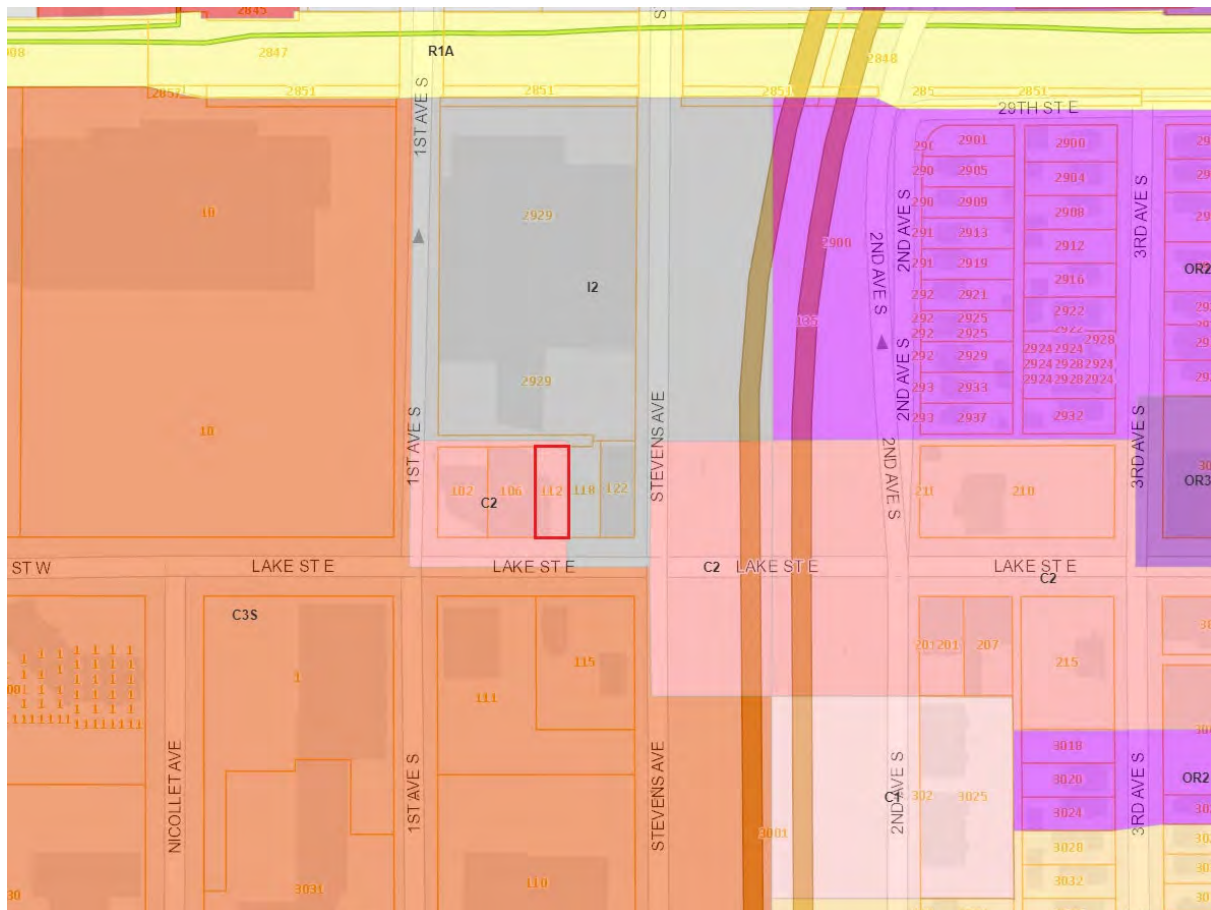
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**SITE DESCRIPTION AND PRESENT USE.** The subject property is a small parcel of 5,437 square feet in area and 44 feet in width. Public alleys are present adjacent to both the north and east.

The property was previously occupied by a single-story commercial building which contained approximately 1,800 square feet of retail space and was most recently occupied by a tobacco shop. This building was destroyed by arson in the unrest of May 2020.

**SURROUNDING PROPERTIES AND NEIGHBORHOOD.** The adjacent property to the west, 106 Lake Street East, was also occupied by a single-story retail building which was destroyed by arson in the unrest of May 2020. The next property to the west, 102 Lake Street East, was occupied by a single-story office building which was similarly destroyed. Across the public alleys to both the north and east of the site is a large property occupied by a medium industrial use (metal finishing and plating). The portion of this property located east of the subject property is utilized for surface parking, while the portion to the north is occupied by a large two-story industrial building.

Two major focal points of the immediate area are located in close proximity to the subject property: the former K-Mart redevelopment site located half a block to the west, and the new, under-construction Lake Street/35W Transit Center on the under-construction METRO Orange Line BRT located a half block to the east. The surrounding area contains a wide variety of uses. The immediate area along Lake Street is developed primarily with commercial uses and contains a high concentration of significant retail and commercial services uses. The larger surrounding area is developed primarily with a mix of commercial and mixed-use buildings on Lake Street and Nicollet Avenue, while the neighborhood interiors off of these corridors are developed primarily with residential uses which range from low- to very high-density, though institutional uses are also present.





**PROJECT DESCRIPTION.** The applicant is proposing to construct a new four-story mixed-use building with 13 dwelling units and approximately 1,600 square feet of commercial space.

The applicant is proposing four surface parking stalls located to the rear of the building, accessed via the public alleys located adjacent to the north and east of the property. Vehicle maneuvering for parking serving commercial buildings and residential buildings with more than four units is required to be accommodated on-site, out of the public right-of-way. The applicant is proposing to provide three feet of maneuvering area between the proposed parking spaces and the alley, less than the 20-foot minimum drive aisle width and requiring maneuvering in the alley. The applicant is seeking a variance to reduce the minimum drive aisle width to allow the parking layout as proposed.

The proposed building would have a floor area ratio (FAR) of 2.26. The regular maximum FAR in the C2 District is 1.7, the project qualifies for a mixed-use density bonus which increases the maximum FAR to 2.125. The applicant is seeking a variance to increase the maximum permitted FAR to allow the project as proposed.

The applicant is also seeking site plan review.

**PUBLIC COMMENTS.** A letter from the neighborhood group regarding the project has been received and is attached to this report. Any additional correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

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## ANALYSIS

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### VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum width of a drive aisle from 20 feet to three feet based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance due to circumstances unique to the property. The subject property is a very small lot for a mixed-use development at only 5,437 square feet in area and 44 feet in width. Providing a full-width drive aisle on a property of this size would occupy an unreasonable proportion of the property purely for vehicular maneuvering and create difficulties in meeting other requirements such as minimum development intensity and minimum landscaped area requirements.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The proposed variance is reasonable and would be in keeping with the spirit and intent of the ordinance and comprehensive plan. Parking and loading regulations are established to recognize the parking and loading needs of uses and structures, to enhance the compatibility between parking and loading areas and their surroundings, and to regulate the number, design, maintenance, use and location of off-street parking and loading spaces and the driveways and aisles that provide access to maneuvering space. The proposed parking area would include four vehicle parking spaces. While serving a mixed-use building, the intensity of the traffic utilizing the parking area would be more similar to a much smaller development due to the small size of the lot. In addition, the alley located to the east of the property, which would be utilized to access two of the proposed parking spaces, is significantly wider than the typical alley in Minneapolis at 33 feet.



3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance will not alter the character of the immediate area and would not have an impact of the use or enjoyment of nearby property. The alleys in question are utilized for access to commercial properties and are not of a traditional residential character. The previous building on this property included approximately 14 parking stalls which were accessed via the alley located on the east side of the property and did not include a drive aisle to provide on-site maneuvering space. The proposed condition would be consistent with other properties in the area, including the former building on the subject property. While vehicles backing out of parking spaces into a public alley is not an ideal condition, it is a common condition throughout Minneapolis and the level of traffic associated with the proposed four-space parking area should not have an appreciable impact on the use or safety of the adjacent alleys.

## VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to increase the maximum permitted floor area ratio in the C2 Neighborhood Corridor Commercial District from 2.125 to 2.26 based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance due to circumstances unique to the property. This proposed project comes at a unique time for this property, where the property is now subject to a minimum development intensity in the comprehensive plan, guiding the site for a minimum building height of four stories, however, the applicable bulk regulations for the property have not yet been updated. Complying with both the minimum height requirement contained in the comprehensive plan and the maximum FAR in the zoning code would be difficult and would unreasonably limit development options for the property.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The proposed variance is reasonable and would be in keeping with the spirit and intent of the ordinance and the comprehensive plan. The comprehensive plan guides this property for buildings of between four and ten stories in height. The existing maximum FAR is not consistent with this guidance. It is anticipated that in January 2021, the maximum FAR for this property will be increased significantly to implement the guidance from the comprehensive plan. Granting the proposed variance would be in keeping with the comprehensive plan and the changes being planned for the zoning code.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance would not alter the character of the area and would not be injurious to the use or enjoyment of nearby properties. The minor increase in FAR would allow a development more consistent with the anticipated direction of development in the area and would have no negative impacts on nearby properties or on public health or safety.

## SITE PLAN REVIEW



The Department of Community Planning and Economic Development has analyzed the application based on the required findings and applicable standards in the site plan review chapter:

### **Applicable Standards of Chapter 530, Site Plan Review**

#### ***BUILDING PLACEMENT AND DESIGN***

##### **Building placement – Meets requirements**

- The proposed project would comply with the building placement standards.

##### **Principal entrances – Meets requirements**

- The proposed project would comply with the principal entrances standards.

##### **Visual interest – Requires alternative compliance**

- The proposed project would not comply with the visual interest standards.
- The building walls provide architectural detail and contain windows in order to create visual interest. While the south elevation does comply with all applicable standards for visual interest, building materials, and window requirements, staff does have some concerns regarding the south elevation appearing too “flat” due to limited articulation. Staff is recommending as a condition of approval that an awning or canopy be added to the south elevation above the retail storefront. Staff has discussed this condition with the applicant and they have indicated that they are amenable to the proposed condition.
- The building would include blank, uninterrupted walls exceeding 25 feet in length on the west elevation. Alternative compliance is required. On the east elevation, recesses are proposed to break up blank walls, however, the submitted plans do not clearly indicate the depth of the proposed recesses. Staff has recommended as a condition of approval that the proposed brick recesses have a minimum depth of at least two inches to eliminate blank walls.

##### **Exterior materials – Meets requirements**

- The applicant is proposing metal panels, brick, and fiber cement panels as the building’s primary exterior materials. Exterior material changes at a later date may require review by the Planning Commission and an amendment to the site plan review.
- Each elevation would comply with the City’s durability standards for exterior materials.
- The application is consistent with the City’s policy of allowing no more than three exterior materials per elevation, excluding windows, doors, and foundation materials.
- The exterior materials and appearance of the rear and side walls of the building are similar to and compatible with the front of the building.

**Percentage of Exterior Materials per Elevation**

| <b>Material</b>                               | <b>Allowed Max</b> | <b>North</b> | <b>South</b> | <b>East</b> | <b>West</b> |
|---|--------------------|--------------|--------------|-------------|-------------|
| <b>Brick</b>                                  | 100%               | 21.2%        | 14.6%        | 25.2%       | 24.6%       |
| <b>Glass</b>                                  | 100%               | 9.8%         | 19.1%        | 5.5%        | 0%          |
| <b>Metal Panel</b>                            | 75%                | 68.1%        | 64.9%        | 68.5%       | 45.2%       |
| <b>Fiber Cement (<math>\leq 5/8''</math>)</b> | 30%                | 0%           | 0%           | 0%          | 29.4%       |

##### **Windows – Requires alternative compliance**

- The proposed project would not comply with the minimum window requirements.



- For residential uses, the zoning code requires that no less than 20 percent of the walls on the first floor, and no less than ten percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, shall be windows. The project is in compliance with the minimum window requirement for the upper floors on both the north and south elevations, however, the project would not be in compliance with the minimum window requirement for residential uses on the first-floor north elevation. Alternative compliance is required.
- For nonresidential uses, the zoning code requires that no less than 30 percent of the walls on the first floor are windows with clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher. In addition, at least 40 percent of the first floor façade of a nonresidential use facing a public street or sidewalk is required to be windows or doors with clear or tinted glass in the Pedestrian Oriented Overlay District. The project is in compliance with the minimum window requirement.

#### Window Requirements for Residential Uses

| Floor                       | Code        |             | Proposed |               |
|-----------------------------|-------------|-------------|----------|---------------|
| 1st floor (north)           | 20% minimum | 70 sq. ft.  | 12.1%    | 42.5 sq. ft.  |
| 2nd floor and above (north) | 10% minimum | 135 sq. ft. | 11.4%    | 153.7 sq. ft. |
| 2nd floor and above (south) | 10% minimum | 135 sq. ft. | 17.9%    | 241.6 sq. ft. |

#### Window Requirements for Non-Residential Uses

| Floor             | Code        |               | Proposed |               |
|-------------------|-------------|---------------|----------|---------------|
| 1st floor (south) | 40% minimum | 140.2 sq. ft. | 49.7%    | 174.2 sq. ft. |

#### Ground floor active functions – *Meets requirements*

- The proposed project would comply with the ground floor active functions requirements.

#### Roof line – *Meets requirements*

- The principal roof line of the building would be similar to that of surrounding buildings.

#### Parking garages – *Not applicable*

- There are no parking garages proposed as part of this project.

#### Pedestrian access – *Meets requirements*

- There would be clear and well-lit walkways at least four feet in width connecting building entrances to the adjacent public sidewalk and on-site parking facilities.

#### Transit access – *Meets requirements*

- No transit shelters are proposed as part of this development.

#### Vehicular access – *Requires variance(s)*

- The proposed project would not comply with the vehicular access requirements. The applicant is proposing four parking spaces located to the rear of the building which require maneuvering in the public right-of-way. The applicant has applied for a variance to reduce the minimum width of a drive aisle to allow the proposed condition.
- Vehicular access and circulation has been designed to minimize conflicts with pedestrian traffic.



**LANDSCAPING AND SCREENING****General landscaping and screening – Meets requirements**

- The proposed project would comply with the general landscaping and screening requirements.

**Landscaping and Screening Requirements**

| Requirement                   | Required    | Proposed      |
|-------------------------------|-------------|---------------|
| Lot Area                      | --          | 5,437 sq. ft. |
| Building Footprint            | --          | 3,158 sq. ft. |
| Area Not Covered by Buildings | --          | 2,279 sq. ft. |
| Landscaped Area               | 456 sq. ft. | 464 sq. ft.   |
| Canopy Trees (1:500 sq. ft.)  | 1 tree      | 1 tree        |
| Shrubs (1:100 sq. ft.)        | 5 shrubs    | 6 shrubs      |

**Parking and loading landscaping and screening – Meets requirements**

- The proposed project would comply with the applicable parking and loading landscaping and screening requirements.

**Additional landscaping requirements – Meets requirements**

- The project appears to comply with the additional landscaping requirements in sections 530.180, 530.190, 530.200, and 530.210 of the zoning code.
- The plant materials, and installation and maintenance of the plant materials, would comply with sections 530.200 and 530.210 of the zoning code.

**ADDITIONAL STANDARDS****Concrete curbs and wheel stops – Meets requirements**

- All parking lots and driveways are designed with wheel stops or discontinuous curbing to provide on-site retention and filtration of stormwater.

**Site context – Meets requirements**

- The proposed project would comply with the site context requirements.

**Crime prevention through environmental design – Meets requirements**

- The proposed project would comply with crime prevention through environmental design (CPTED) standards.
- The project provides lighting on site, at all building entrances, and along walkways that maintains a minimum acceptable level of security while not creating glare or excessive lighting of the site.

**Historic preservation – Meets requirements**

- This site is neither historically designated or located in a designated historic district, nor has it been determined to be eligible for designation.

**Applicable Regulations of the Zoning Ordinance**

The proposed use is permitted in the C2 District.



**Off-street Parking and Loading – Meets requirements**

- The proposed project complies with the applicable vehicle parking, bicycle parking, and loading requirements.
- No vehicle parking is required. The applicant is proposing to provide four vehicle parking stalls to the rear of the building.
- Three short-term bike parking stalls are required for the retail use and seven long-term bicycle parking stalls are required for the residential use. The applicant is proposing to provide 13 enclosed bicycle parking stalls for the residential uses, as well as four short-term bicycle parking stalls to the rear of the building near the residential entrance. Four additional short-term bicycle parking stalls will also be installed in the public right-of-way in front of the building as part of the in-progress reconstruction of this section of Lake Street East.
- The proposed uses do not have an off-street loading requirement.

**Vehicle Parking Requirements Per Use (Chapter 541)**

| Use                                      | Minimum | Reductions                                      | Minimum  | Maximum | Proposed |
|--|---------|---|----------|---------|----------|
| <b>General Retail Sales and Services</b> | 4       | Hennepin, Lyndale, Lagoon, and Lake area PO (4) | 0        | 8       | --       |
| <b>Residential Dwellings</b>             | 13      | Transit Incentives (13)                         | 0        | --      | --       |
|  | --      | --  | <b>0</b> | --      | <b>4</b> |

**Bicycle Parking Requirements (Chapter 541)**

| Use                                      | Minimum   | Short-Term        | Long-Term         | Proposed                               |
|--|-----------|-------------------|-------------------|--|
| <b>General Retail Sales and Services</b> | 3         | Not less than 50% | --                | 4 short-term                           |
| <b>Residential Dwellings</b>             | 7         | --                | Not less than 90% | 17 (4 short-term, 13 long-term)        |
|  | <b>10</b> | --                | --                | <b>21 (8 short-term, 13 long-term)</b> |

**Building Bulk and Height – Requires variance(s)**

- The proposed project would not meet the applicable bulk and height requirements.
- The building would have an FAR of 2.26, exceeding the maximum permitted FAR of 2.125. The applicant is seeking a variance to increase the maximum FAR to allow the building as proposed.
- The proposed project would meet all other applicable bulk and height requirements.

**Building Bulk and Height Requirements**

| Requirement     | Code | Bonuses | Total | Proposed      |
|-----------------|------|---------|-------|---------------|
| <b>Lot Area</b> | --   | --      | --    | 5,437 sq. ft. |



## PLAN11756

|                              |   |   |       |                     |
|------------------------------|---|---|-------|---------------------|
| <b>Gross Floor Area</b>      | --                                      | --                                      | --    | 12,242 sq. ft.      |
| <b>Min. Floor Area Ratio</b> | 1.0                                     | --                                      | --    | 2.26                |
| <b>Max. Floor Area Ratio</b> | 1.7                                     | +0.425 for mixed commercial-residential | 2.125 | 2.26                |
| <b>Max. Building Height</b>  | 4 stories or 56 feet, whichever is less |   |       | 4 stories, 51.7 ft. |

**Lot and Residential Unit Requirements – Meets requirements**

- The proposed project would meet the applicable lot and residential unit requirements.
- The proposed dwelling units meet the minimum gross floor area requirement of 500 sq. ft. per unit or 350 sq. ft. per efficiency unit.
- The proposed project is not subject to inclusionary zoning requirements.

**Yard Requirements – Meets requirements**

- The property is not subject to any yard requirements.

**Signs – Meets requirements**

- All signs are subject to Chapter 543, On-Premise Signs. The applicant will be required to submit a separate sign permit application for any signage that is proposed.
- The applicant is proposing a placeholder wall sign above the entrance to the retail space.

**Signage Summary**

| Type            | Max. Size Allocation | Max. Area Per Sign | Proposed Area | Max. Height | Proposed Height |
|-----------------|----------------------|--------------------|---------------|-------------|-----------------|
| <b>Attached</b> | 54.2 sq. ft.         | 180 sq. ft.        | 31 sq. ft.    | 34 ft.      | 13.3 ft.        |

**Screening of Mechanical Equipment – Meets requirements**

- Mechanical equipment is subject to the screening requirements of Chapter 535 and district requirements.

**Refuse Screening – Meets requirements**

- Refuse and recycling storage containers are subject to the screening requirements in Chapter 535.

**Lighting – Meets requirements**

- Existing and proposed lighting must comply with Chapter 535 and Chapter 541 of the zoning code.
- The project is consistent with the applicable lighting requirements.

**Fences – Meets requirements**

- Fences must comply with the requirements in Chapter 535. The proposed fencing meets the applicable standards. Apart from the proposed trash and recycling receptacle enclosure, no fencing is proposed as part of the project.

**Specific Development Standards – Meets requirements**



- The applicant's proposal meets the specific development standards for multiple-family dwellings in [Chapter 536](#).

**PO Pedestrian Oriented Overlay District Standards – Meets requirements**

- The proposal is in compliance with the PO Pedestrian Oriented Overlay District standards.

**Applicable Policies of the Comprehensive Plan**

The proposed use would be consistent with the applicable guidance and policies of *Minneapolis 2040 (2020)*:

| Future Land Use                    | Guidance  | Staff Comment   |
|------------------------------------|---|---|
| <b>Community Mixed Use</b>         | Large-scale mixed use development is encouraged throughout these areas, with commercial uses fronting on major streets. Commercial retail spaces are typically smaller in order to generate pedestrian activity, and are often a destination for customers coming from outside of the market area. Active uses that are accessible to the general public such as office, food service, retail, or medical establishments are required at the street level; therefore single-use residential development is not permitted. Contiguous expansion of commercial zoning is allowed.                       | The use of the property as a four-story mixed-use building with a ground-floor retail use fronting Lake Street East and dwelling units above would be consistent with the future land use guidance of Community Mixed Use.                              |
| <b>Goods and Services Corridor</b> | <b>Guidance</b>   | <b>Staff Comment</b>  |
| <b>Lake Street East</b>            | Goods and Services Corridors serve two purposes: 1) To indicate where commercial uses should front in relation to properties guided for commercial future land uses, and 2) In addition to the guidance for the mixed use land use categories found in this section, Goods and Services Corridors identify where the establishment or expansion of commercial uses can be considered. Properties immediately adjacent to a Goods and Services Corridor may be considered for commercial activity, allowing for uses similar in scale and scope to the Neighborhood and Corridor Mixed Use categories. | The proposed retail use would front Lake Street East. Both the retail use and the residential use would include principal entrances facing Lake Street East. This is consistent with the guidance adjacent to a designated goods and services corridor. |
| <b>Built Form</b>                  | <b>Guidance</b>   | <b>Staff Comment</b>  |
| <b>Transit 15</b>                  | New and remodeled buildings in the Transit 15 district should reflect a variety of building types on both moderate and large  | The use of the property as a four-story mixed-use building with a ground-floor retail use fronting  |



|  |   |  |
|--|---|--|
|  | <p>sized lots. Building heights should be 4 to 15 stories. Building heights should be at least 4 stories in order to best take advantage of the access to transit, jobs, and goods and services provided by the Transit 15 district. Requests to exceed 15 stories will be evaluated on the basis of whether or not a taller building is a reasonable means for further achieving Comprehensive Plan goals.</p> | <p>Lake Street East and dwelling units above would be consistent with the built form guidance of Transit 15.</p> |
|--|---|--|

The following policies and action steps from *Minneapolis 2040 (2020)* apply to this proposal:

**Policy 1. Access to Housing: Increase the supply of housing and its diversity of location and types.**

- a. Allow housing to be built in all areas of the city, except in Production and Distribution areas.
- c. Allow multifamily housing on public transit routes, with higher densities along high-frequency routes and near METRO stations.

**Policy 4. Access to Commercial Goods and Services: Improve access to goods and services via walking, biking and transit.**

- a. Allow commercial uses where they currently exist throughout the city.
- d. Require commercial retail to be incorporated into new buildings in select areas of the city with the highest residential densities, highest pedestrian traffic, and most frequent transit service.
- e. Allow for increased housing supply within and adjacent to Commercial areas.

**Policy 6. Pedestrian-Oriented Building and Site Design: Regulate land uses, building design, and site design of new development consistent with a transportation system that prioritizes walking first, following by bicycling and transit use, and lastly motor vehicle use.**

- b. Encourage multiple storefront bays with direct connections to the sidewalk where active or commercial ground floor uses are required.
- c. Require windows and window treatments on buildings that allow clear views into and out of the building.
- d. Ensure that buildings incorporate design elements that eliminate long stretches of blank, inactive exterior walls through provision of windows, multiple entrance doors, green walls, and architectural details.
- e. Integrate components in building designs that offer seasonal protection to pedestrians, such as awnings and canopies, to encourage pedestrian activity along the street.

**Policy 80. Development Near METRO Stations: Support development and public realm improvements near existing and planned METRO stations that result in walkable districts for living, working, shopping, and recreating.**

- a. Allow and encourage a dense mix of housing, employment, and commercial goods and services near METRO stations.
- c. Require a minimum level of development near METRO stations to ensure that land is used efficiently near major transit investments.
- g. Orient buildings to the sidewalk.
- h. Focus active uses on the ground floor of buildings along main pedestrian routes leading to and facing METRO stations.



- j. Minimize the impact of automobiles near METRO stations by locating parking behind and under buildings, by sharing parking among area uses, by prohibiting the establishment of auto-oriented uses, and by prohibiting the establishment of stand-alone dedicated park-and-ride facilities.

### Alternative Compliance

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

| Standard               | Description   | Staff Recommendation   |
|------------------------|---|--|
| <b>Blank Walls</b>     | There are blank walls of 42.8 feet in length proposed for the second, third, and fourth-floor west elevation, greater than the maximum length of 25 feet for blank walls. The applicant is proposing to include a mural on this blank wall. | The proposed project would be constructed directly up to the west property line in anticipation of facilitating a party wall with a future redevelopment of the adjacent properties at 102 and 106 Lake Street East, which are both currently vacant after being destroyed by arson in the unrest of May 2020. While the west elevation will be prominently visible until these properties are redeveloped, it is anticipated that a redevelopment of these properties would greatly reduce the visibility of this elevation. Staff finds that the proposed mural would mitigate the impact of the proposed blank wall until the redevelopment of the adjacent properties occurs. <u>Staff recommends granting alternative compliance.</u> |
| <b>Window Coverage</b> | The building would include 12.1% window coverage on the first-floor north elevation, less than the minimum requirement of 20%.  | The north elevation faces on-site parking and trash and recycling storage, and an industrial use across the alley. Beyond the window area included in the window coverage calculation, the applicant is proposing a total of three full-view glass doors. Given the additional glass area included in the doors that is not included in the window area calculation and the use of the space adjacent to the north elevation, staff finds the proposed alternative compliance  |



|  |  |   |
|--|--|---|
|  |  | to be reasonable and meeting the intent of the ordinance. The property also exceeds the minimum window coverage requirements on the upper levels of the north elevation. <u>Staff recommends granting alternative compliance.</u> |
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## RECOMMENDATIONS

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The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by James Tindall Jr. for the property located at 112 Lake Street East:

**A. Variance to reduce drive aisle width.**

Recommended motion: **Approve** the variance to reduce the minimum width of a drive aisle from 20 feet to three feet.

**B. Variance to increase maximum floor area ratio.**

Recommended motion: **Approve** the variance to increase the maximum permitted floor area ratio in the C2 Neighborhood Corridor Commercial District from 2.125 to 2.26.

**C. Site Plan Review.**

Recommended motion: **Approve** the site plan review for a new four-story mixed-use building with 13 dwelling units and approximately 1,600 square feet of commercial space, subject to the following conditions:

1. All site improvements shall be completed by November 16, 2022, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
2. CPED staff shall review and approve the final site, elevation, landscaping, and lighting plans before building permits may be issued.
3. All signs shall comply with Chapter 543 of the zoning code. All signage requires a separate permit from CPED.
4. A canopy or awning shall be added above the retail storefront.
5. The proposed brick recesses on the east and west elevations shall have a minimum depth of at least two inches, in accordance with Section 530.120 of the zoning code.

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## ATTACHMENTS

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1. Oblique aerial photo
2. Written description and findings submitted by applicant
3. Notification letters submitted by applicant
4. Survey
5. Plans
6. Renderings
7. Public Comments









4900 Highway 169 Suite #303  
New Hope, MN 55428  
612-810-9628  
763-550-2919 FAX

*In Partnership With*



802 Lower Johnson Circle  
St. Peter, MN 56082  
507-720-1398  
matt@brightpixeldesign.com

## Project Narrative 112 E. Lake Street

To: Andrew Frenz  
From: Matt Borowy  
Date: 10/22/2020  
Re: Site Plan Review & Variance

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Mr Frenz,

I want to thank you for the opportunity to submit the following project narrative for the proposed mixed-use development located at 112 East Lake Street in Minneapolis, MN.

Per our previous correspondence, my team's desire is to work closely with the city staff over the following weeks to carry out the review process. We would like to thank you for the support and patience that has been afforded to our team thus far. The project team requests approval of the building and site designs as specified in the attached drawings.

This project intends to replace a building that was burned down in the civil unrest of 2020. The design team is proposing a 4-story mixed-use building with primarily retail space on the first level with 3 levels of 1 bedroom apartments above. An accessible apartment will be provided on the first level. The total number of apartment units will be 13, and 5 parking stalls are planned for the site.

## Design Direction

The design strategy is to provide a handsome addition to the neighborhood that is consistent with the existing urban scale and design languages. Our team has worked with intentionality to fuse existing design elements of the surrounding neighborhood with a current architectural dialect to produce a solution that is compatible with a neighborhood in transition.

The proposed materials are brick, metal panels, aluminum & glass, wood-look metal siding and metal trim. Historically-inspired brick pilasters have been incorporated into the east and west elevations on



the 1<sup>st</sup> level to provide surface articulation. Levels 2-4 blend alternating orientations of linear metal panels as well as accent inlays of wood-look siding that serves to organize the residential windows. The west elevation provides a large area to allow for a mural in lieu of windows openings. (see variance number 2 below and exterior elevations for more information).

Interior circulation has been designed with a focus on life-safety, access to exterior views and unit efficiency. We have identified the south elevation along Lake Street as the most prominent of the building and have located the south stair shaft accordingly. The traditional urban language of a zero lot line mixed-use building has been preserved with a symmetrical fenestration design and clear separation of uses between the retail and residential components. The north stair tower has been shifted north of the residential units to allow for ample separation between exit paths and to provide a semi-private courtyard on the north end of the property by using the stair shaft as a “wing wall”.

The north stair location has been extensively studied, and this resourceful layout provides the best compromise between code-required items such as the minimum distance between exits and quality-of-life items such as natural light and views.

The north side of the building has also been denoted as the location for vehicular and bicycle parking as well as an electrical transformer and the trash enclosure. The designated enclosure is designed to accommodate a compost container as well as (2) 4 yard containers: one with trash and one with recycled materials. The area required for this operation has been denoted on sheets C2.0 and L1.0. The existing alleyways bordering the north and east property lines provide convenient access for recycling/trash vehicles and automobiles (see variance number 1 below for more information).

## Sustainable Initiatives

Reduction of initial resources and ongoing utilities are important from both a cost containment standpoint and overall environmental stewardship. The design team has targeted several items that work toward that aim. Key sustainable items area as follows:

- 1) Mechanical system featuring high-efficiency units with individually controlled heating and cooling to reduce energy usage
- 2) Electrical system featuring LED lighting to reduce power usage
- 3) Plumbing system featuring low-flow fixtures to reduce water usage
- 4) Two sets of bike racks are suggested as noted on sheet L1.0 (the Lake Street Reconstruction project includes bike racks on the south area of the building as well) A secured interior bike room is provided with capacity for all tenants.
- 5) Maintenance free exterior materials that will reduce product waste and mobilization impacts over the lifetime of the building
- 6) Exterior skin with upgraded R-value that will exceed the current energy code to reduce overall energy use for heating and cooling

## Pedestrian Impact

The proposed development has been designed for efficient and safe pedestrian flow parallel to vehicular flow. Foot and bicycle traffic has been prioritized by providing access on both the north and south ends of the building for retail and residential tenants.



The design team understands that the city is currently undergoing an extensive Lake Street Reconstruction Project. The design engineering team has reviewed the location of these improvements and has located the building and site elements accordingly to ensure orderly integration with adjacent elements.

## Variance

### Findings:

- (1) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.
- (2) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.
- (3) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

Variance number 1: Allow for maneuverability in north and east alleyways for parking access.

Response to finding 1) The project site is 40' wide. Previously the east 18' of the site was used for a row of parking stalls accessed by the existing alleyway. Per feedback from city staff, the building has been designed to include full width of the property along the south elevation facing Lake Street. The resulting space for parking is located to the north behind the building. The effect of this orientation is to hide the vehicular parking and help to separate vehicular traffic from foot traffic on the sidewalk. However, for this solution to work, vehicular circulation is dependent on the use of the alleyways.

Response to finding 2) The design team understands the ordinance is intended to ensure that the alleyways remain open and functional for vehicular, cycling and pedestrian traffic. A large, busy parking area that is reliant on maneuverability in the alleyways could impede flow and create a dangerous space. We feel that the proposed site plan with 5 stalls does not create a hazardous condition and actually reduces the load from the previous usage.

Response to finding 3) The essential character of the locality is set to be improved through acceptance of this variance. Street scape frontage is preserved, utilities are discretely hidden away, ada route is direct, and public & private entrances are separated.

Variance number 2: Request alternative compliance for mural panel on west elevation in lieu of window openings

Response to finding 1) The project site is currently zoned C2 which allows for 0' setbacks for developments. With an adjacent lot to the west, it is the owner's expectation that a 4-story building will be constructed that will fully-obscure the west elevation.

Response to finding 2) The design team understands the ordinance is intended to ensure that proposed developments do not focus design efforts on the "front" of the building while neglecting the



other elevations. Consistently spaced windows in an exterior wall can provide an appealing connection between building users and the wider neighborhood. A mural space has been proposed in the solid wall to provide visual interest as a substitute.

Response to finding 3) The proposed design incorporates primarily the same materials as the rest of the building to maintain visual consistency. Furthermore, a large mural has the potential to uplift the neighborhood and galvanize community spirit.

## Alternative Compliance

Number 1: Request alternative compliance for first-floor north elevation window coverage requirements

The width of the building on the north elevation is 44' and contains three entrance points. Fenestration has been designed to maintain the rhythm of the upper floors of the building on the first level. Full-glass aluminum doors have been suggested in-lieu of windows to provide access to building and to comply with the spirit of the ordinance.

Number 2: Request for alternative compliance for maximum floor area ratio

This is a neighborhood in transition, and the current ordinance is not written for 4-15 story developments. The design team requests approval of floor area ratio per the updated ordinances that will be forthcoming.

Once again, thank you for this opportunity to submit this preliminary site/building plan package. If you have any questions regarding this submittal, please do not hesitate to call.

Sincerely,

A handwritten signature in black ink that reads "Matt J. Borowy". The signature is stylized, with the first name "Matt" and last name "Borowy" clearly legible, and a middle initial "J." in between.

**Matt J. Borowy**  
**Bright Pixel Design**  
507.720.1398  
[www.brightpixeldesign.com](http://www.brightpixeldesign.com)



112 E. Lake Street



**Matt Borowy** <matt@brightpixeldesign.com>

to brad, kaley, andrea.jenkins, lisa.bender ▾

Mon, Sep 14, 12:36 PM



Hello All,

I'm reaching out to introduce a proposal to replace a building that was lost in the civil unrest this summer.

The design team is planning a 4-story mixed use building with primarily retail space on the first level with 3 levels of 1 bedroom apartments above. An accessible apartment will be provided on the first level. The total number of apartment units will be 13. 7 parking stalls are planned for the site.

We will need a variance to allow for access to the parking stalls through the alleys. Please review the attached packet and get back to me with any feedback you have.

Thank You,

**Matt J Borowy**

**Bright Pixel Design**

802 Lower Johnson Circle

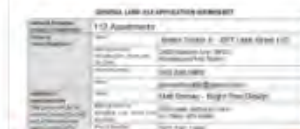
St. Peter, MN 56082

507.720.1398

[www.brightpixeldesign.com](http://www.brightpixeldesign.com)



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Design



PDF 112\_E\_Lake\_Prelim...







112 Lake Street East

Minneapolis, Hennepin County, Minnesota 55408

Bright Pixel Design

802 Lower Johnson Circle, St. Peter, MN 56082

PROJECT

CLIENT

I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

RORY L. SYNSTELLEN  
DATE 9-29-2020 LICENSE NO. 44565

QA/QC

|             |       |
|-------------|-------|
| FIELD CREW  | MS/AS |
| DRAWN BY    | SW    |
| REVIEWED BY | CJ    |
| UPDATED BY  |       |
|             |       |
|             |       |



| REVISION SUMMARY |             |
|------------------|-------------|
| DATE             | DESCRIPTION |
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PROJECT NO.: 20267

ALTA/NSPS LAND  
TITLE SURVEY

V1.0

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DESCRIPTION OF PROPERTY SURVEYED

Lots 10, 11, and 12, Block 003, BOULEVARD ADDITION TO MINNEAPOLIS.  
Hennepin County, Minnesota  
Abstract Property

NOTE: The above description is per Title Commitment File No. 24945, dated January 5th, 2006 provided to us by the client which is approximately 15 years old at the time of this survey. This survey only includes Lot 12 of the above description. Lots 10 and 11 have since been replatted and are not a part of this survey.

ALTA/NSPS Land Title Survey Notes  
(numbered per Table A)

- Bearings are based on the Hennepin County Coordinate System (1986 Adjustment).
- Site Address: 112 Lake Street East, Minneapolis, MN 55408.
- This property is contained in Zone X (area of Minimal Flood Hazard per Flood Insurance Rate Map, Community Panel No. 27053C0359F, effective date of November 4th, 2016).
- The Gross land area is 5,437 +/- square feet or 0.125 +/- acres.
- Elevations are based on the NGVD 29 Datum. Site Benchmark is a nail in a powerpole located along the north property line at, approximately, the midpoint of said line. Elevation = 870.00 feet/
- No zoning letter or report for the subject property was provided to the surveyor.  
Please note that the general restrictions for the subject property may have been amended through a city process. We could be unaware of such amendments if they are not in a recorded document provided to us. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site.
- (a) The buildings on the site were in the process of being demolished at the time of the survey. Locations and elevations of the remains of the foundation walls were observed as noted and shown hereon.
- There was no observed parking designations or striping at the time of the survey.
- (a) The buildings on the site were in the process of being demolished at the time of the survey. Locations and elevations of the remains of the foundation walls were observed as noted and shown hereon. We were unable to determine if any party walls exist.

- We have shown the location of utilities to the best of our ability based on observed evidence together with evidence from the following sources: plans obtained from utility companies, plans provided by client, markings by utility companies and other appropriate sources. We have used this information to develop a view of the underground utilities for this site. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property.
- The names of the adjoining owners of the platted lands, as shown hereon, are based on information obtained from Hennepin County Property Information, GIS website.
- The subject property directly abuts Lake Street East to the south, and public alleyways to the north and east. The approximate distance to Stevens Avenue from the easterly property line is 91 +/- feet, and the approximate distance to 1st Avenue South from the westerly property line is 134 +/- feet.
- Buildings on site were in the process of being demolished at the time of this survey.
- We are unaware of any proposed right-of-way changes or recent street or sidewalk construction.
- We are unaware of any offsite easements or servitudes.

SURVEY REPORT

- This map and report was prepared with the benefit of a Commitment for Title Insurance issued by Chicago Title Insurance Company, File No. 24945, dated January 5th, 2006. We note the following with regards to Schedule B of the herein referenced Title Commitment:  
a. Item no.'s 1 - 3 are not survey related.

NOTE: The above referenced title commitment provided to us by the client is approximately 15 years old. Portions of the described property contained in said title commitment have since been replatted and are not a part of this survey. Due to the age of said title commitment, there may be easements or other matters of record we are unaware of and thus not shown hereon.

- Conflicts such as (but not limited to): encroachments, protrusions, access, occupation, and easements and/or servitudes:  
[A]. There is an overhead utility line running through the subject property, parallel to and along the north line of the subject property with no apparent benefit of an easement.
- Our research on the Hennepin County Record Ease website revealed a Quit Claim Deed dated May 22, 2017, and recorded as Document No. A10440163, containing the following:  
[1]. A permanent easement for sidewalk and utility purposes in favor of Hennepin County. This easement is described as being located on and over an area in the southeast corner of the subject property as shown hereon.  
[2]. A permanent easement for streetscape purposes in favor of Hennepin County. This easement is described as abutting the above easement and is also located on and over an area in the southeast corner of the subject property as shown hereon.  
[3]. A permanent easement for alley purposes in favor of Hennepin County. This easement is described on and over an area in the northeast corner of the subject property as shown hereon.  
[4]. A temporary easement for construction purposes in favor of Hennepin County. This easement is described on and over an area in the southeast corner of the subject property as shown hereon. This easement states an expiration date of December 31, 2022.

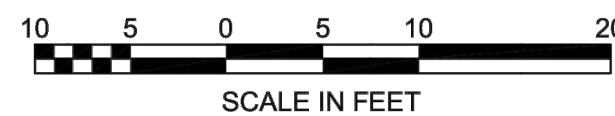
ALTA CERTIFICATION

To: JWT Lake Street LLC; Bright Pixel Design; Chicago Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 8, 9, 10(a), 11, 13, 14, 16, 17, and 19 of Table A thereof. The field work was completed on 09-15-2020.

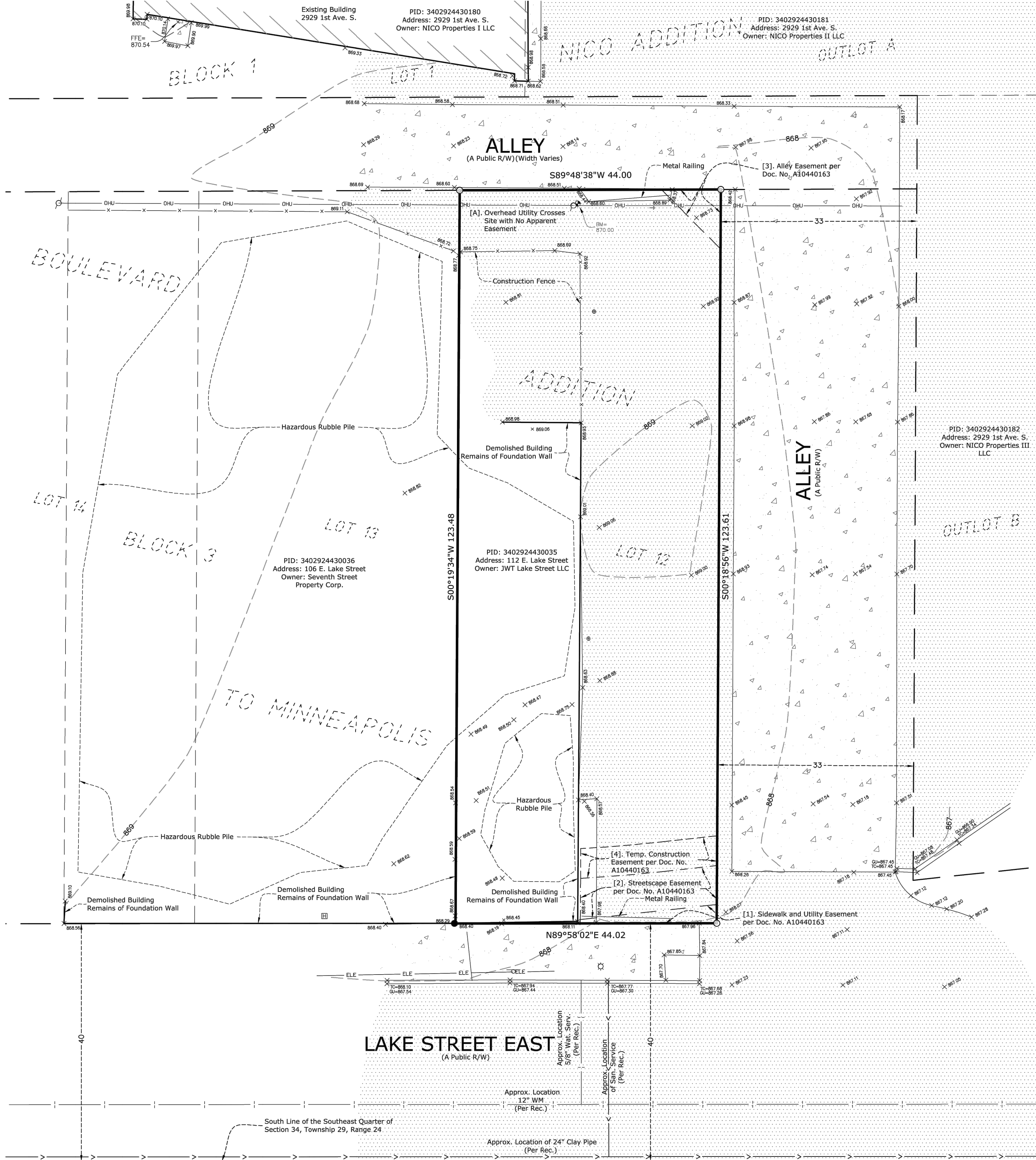
Dated this 29th day of September, 2020.

Rory L. Synstellen  
rory@civilsitegroup.com  
Minnesota License No. 44565



Linetype & Symbol Legend

|                          |                      |                    |
|--------------------------|----------------------|--------------------|
| FO FIBER OPTIC           | SIGN                 | AIR CONDITIONER    |
| GAS GASMAIN              | UTILITY MANHOLE      | BOLLARD            |
| WATERMAIN                | SANITARY MANHOLE     | ELECTRIC MANHOLE   |
| SANITARY SEWER           | STORM MANHOLE        | FLAG POLE          |
| STORM SEWER              | CATCH BASIN          | FLARED END SECTION |
| OVERHEAD UTILITIES       | ROOF DRAIN           | GAS VALVE          |
| TELEPHONE LINE           | TELEPHONE BOX        | HANDICAP SYMBOL    |
| ELECTRIC LINE            | TELEPHONE MANHOLE    | HYDRANT            |
| CTV                      | ELECTRIC TRANSFORMER | WATER MANHOLE      |
| CHAINLINK FENCELINE      | TRAFFIC SIGNAL       | WATER VALVE        |
| WOODEN FENCELINE         | CABLE TV BOX         | POWER POLE         |
| GUARDRAIL                | ELECTRICAL METER     | GUY WIRE           |
| CONCRETE SURFACE         | GAS METER            | CONIFEROUS TREE    |
| PAVER SURFACE            | FOUND IRON MONUMENT  | DECIDUOUS TREE     |
| BITUMINOUS SURFACE       | SET IRON MONUMENT    |                    |
| GRAVEL/LANDSCAPE SURFACE | CAST IRON MONUMENT   |                    |








Know what's **below**.  
**Call** before you dig.



1" = 10'-0"



5'-0" 0 10'-0"

11/2/2020 1:03 PM

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St. Louis Park, MN 55416  
civilsitegroup.com 612-615-0060

PRELIMINARY:  
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CONSTRUCTION

# 112 EAST LAKE STREET

112 EAST LAKE STREET, MINNEAPOLIS, MN

## BRIGHT PIXEL DESIGN

802 LOWER JOHNSON CIRCLE, ST. PETER, MN 56082

# PROJECT

I HEREBY CERTIFY THAT THIS PLAN,  
SPECIFICATION, OR REPORT WAS  
PREPARED BY ME OR UNDER MY DIRECT  
SUPERVISION AND THAT I AM A DULY  
LICENSED PROFESSIONAL ENGINEER  
UNDER THE LAWS OF THE STATE OF  
MINNESOTA.

  
Matthew R. Pavak  
DATE 11/02/20 LICENSE NO. 44263

## ISSUE/SUBMITTAL SUMMARY

| DATE       | DESCRIPTION   |
|------------|---------------|
| 10/08/2020 | PDR SUBMITTAL |
| 10/20/20   | PDR SUBMITTAL |
| 11/02/20   | PDR SUBMITTAL |

The diagram shows two horizontal lines, labeled 'a' and 'b', intersected by a vertical line. The intersection points are labeled 'c' and 'd'.

A blank coordinate plane with a horizontal x-axis and a vertical y-axis intersecting at the origin. The axes are represented by thin black lines.

A blank coordinate plane with a horizontal x-axis and a vertical y-axis intersecting at the origin. The axes are labeled with 'x' and 'y' at their positive ends. There are no tick marks or grid lines shown.

A blank coordinate plane with a horizontal x-axis and a vertical y-axis intersecting at the origin. The axes are labeled with 'x' and 'y' at their respective ends. There are no tick marks or grid lines shown.

A blank coordinate plane with a horizontal x-axis and a vertical y-axis intersecting at the origin. The axes are labeled with 'x' and 'y' at their positive ends. There are tick marks on both axes, but no numerical values are provided. The grid lines are thin and light gray.

A blank coordinate plane with a horizontal x-axis and a vertical y-axis intersecting at the origin. The axes are labeled with 'x' and 'y' at their positive ends. There are no tick marks or grid lines shown.

DRAWN BY: KB, KW      REVIEWED BY: MP

PROJECT NUMBER: 20267

## REVISION SUMMARY

| DATE | DESCRIPTION |
|------|-------------|
|------|-------------|

A blank coordinate plane with a horizontal x-axis and a vertical y-axis intersecting at the origin. The axes are represented by thin black lines.

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REMOVALS PLAN

## REFERENCES

010

(310)

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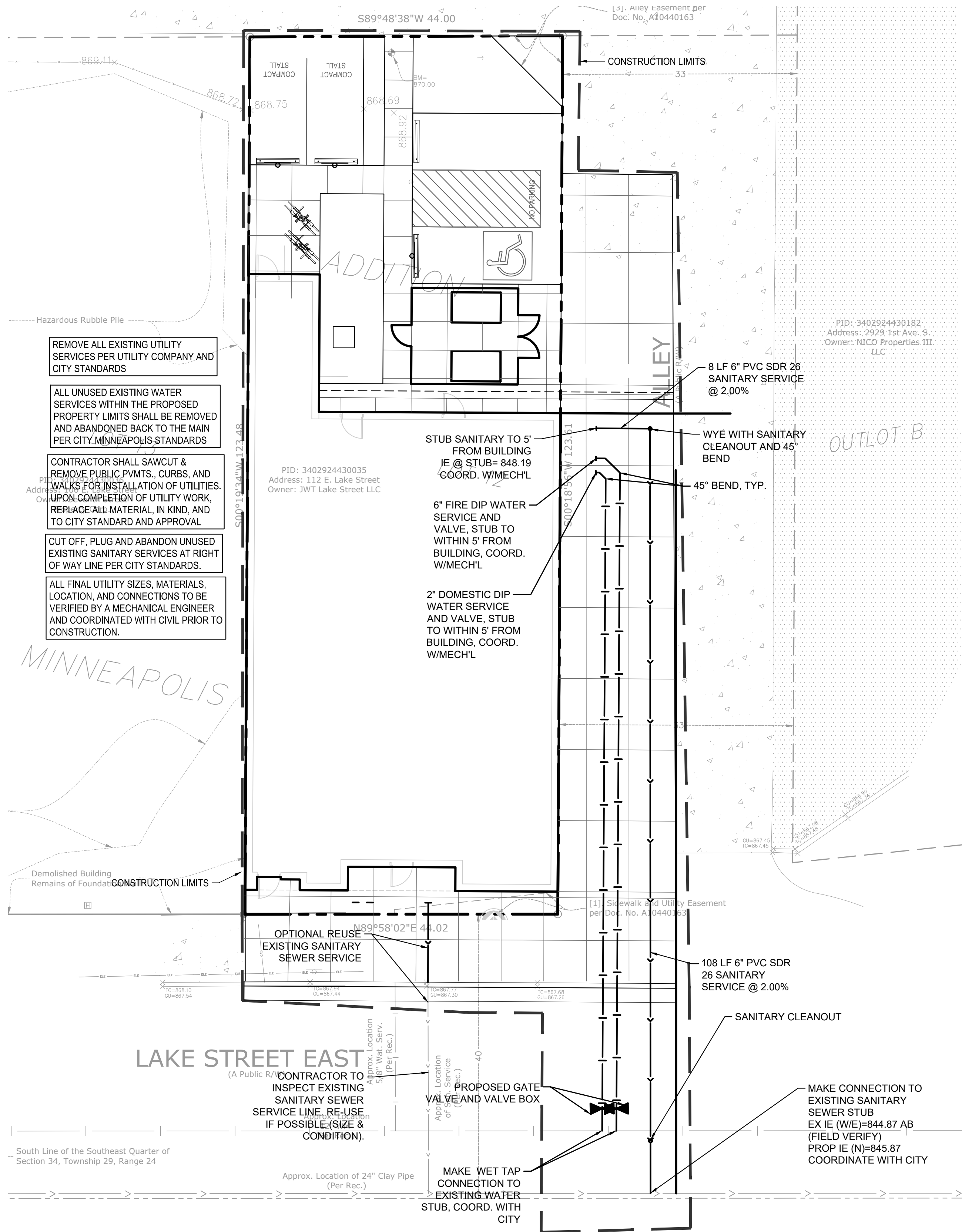






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CITY OF MINNEAPOLIS UTILITY NOTES:

- FOR COMMENTS OR QUESTIONS ON PUBLIC WORKS SURFACE WATER & SEWER DIVISION RELATED REQUIREMENTS PLEASE CONTACT JEREMY STREHLO, (PROFESSIONAL ENGINEER) AT (612) 673-3973, OR JEREMY.STREHLO@MINNEAPOLISMN.GOV
- THE CITY OF MINNEAPOLIS WATER TREATMENT & DISTRIBUTION SERVICES DIVISION (WTDS) REQUIRES THAT POTABLE WATER SUPPLY SERVICE LINES SHALL BE SIZED BASED UPON THE TOTAL DEMAND AND SHALL BE DETERMINED IN ACCORDANCE WITH RECOGNIZED ENGINEERING METHODS AND PROCEDURES. THE APPLICANT (AND ENGINEER) SHALL BE RESPONSIBLE FOR DESIGNING POTABLE WATER SYSTEMS THAT ARE NOT OVERSIZED FOR THEIR INTENDED USE SO THAT TURNOVER IS SUFFICIENT TO MAINTAIN WATER QUALITY. PLEASE CONTACT ROCK ROGERS AT (612) 673-2286, TO CONFIRM DOMESTIC AND FIRE SERVICE DESIGN, CONNECTIONS, AND SIZES. THE APPLICANT SHALL PROVIDE A CONFIRMATION OF DOMESTIC AND FIRE SERVICE DESIGN METHODS BEFORE SITE PLAN APPROVAL CAN BE GRANTED. (NOTE: REFERS TO THE REQUIREMENT THAT LINES BE SIZED AND INCLUDE MECHANICAL ENGINEER CALCULATIONS).
- THE CONTRACTOR, PROPERTY OWNER OR RESPONSIBLE PARTY SHALL CONTACT MINNEAPOLIS SURFACE WATERS AND SEWERS 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION RELATED TO OR IN THE LOCATION OF THE PROPOSED STORMWATER MANAGEMENT BMP (CONTACT PAUL CHELSEN 612-673-2406).
- UPON THE PROJECTS COMPLETION, THE GENERAL CONTRACTOR, PROPERTY OWNER, OR RESPONSIBLE PARTY SHALL PROVIDE TO THE DEPARTMENT OF PUBLIC WORKS A FINAL STORMWATER MANAGEMENT REPORT INCLUDING RECORD DRAWINGS. THIS REPORT WILL SERVE AS A MEANS OF VERIFICATION THAT THE INTENT OF THE APPROVED STORMWATER MANAGEMENT DESIGN HAS BEEN MET. THIS FINAL REPORT SHALL SUBSTANTIATE THAT ALL ASPECTS OF THE ORIGINAL DESIGN HAVE BEEN ADEQUATELY PROVIDED FOR BY THE CONSTRUCTION OF THE PROJECT.

GENERAL UTILITY NOTES:

- SEE SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- UTILITY INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION" AND "SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), AND SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY AND THE PROJECT SPECIFICATIONS.
- CASTINGS SHALL BE SALVAGED FROM STRUCTURE REMOVALS AND RE-USED OR PLACED AT THE DIRECTION OF THE OWNER.
- ALL WATER PIPE SHALL BE CLASS 52 DUCTILE IRON PIPE (DIP) AWWA C151, ASME B16.4, AWWA C110, AWWA C153 UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER SHALL BE SDR 26 POLYVINYL CHLORIDE (PVC) ASTM D3034 & F679, OR SCH 40 ASTM D1785, 2865, ASTM F794, 1866) UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPE SHALL BE HDPE ASTM F714 & F2306 WITH ASTM D3212 SPEC FITTINGS UNLESS OTHERWISE NOTED.
- PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURE OR TO END OF FLARED END SECTION.
- UTILITIES ON THE PLAN ARE SHOWN TO WITHIN 5' OF THE BUILDING FOOTPRINT. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE FINAL CONNECTION TO BUILDING LINES. COORDINATE WITH ARCHITECTURAL AND MECHANICAL PLANS.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.15 FEET PER DETAILS. RIM ELEVATIONS SHOWN ON THIS PLAN DO NOT REFLECT SUMPED ELEVATIONS.
- A MINIMUM OF 8 FEET OF COVER IS REQUIRED OVER ALL WATERMAIN, UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. EXTRA DEPTH WATERMAIN IS INCIDENTAL.
- A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL

UTILITIES, UNLESS OTHERWISE NOTED.

- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION.
- CONNECTIONS TO EXISTING STRUCTURES SHALL BE CORE-DRILLED.
- COORDINATE LOCATIONS AND SIZES OF SERVICE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- COORDINATE INSTALLATION AND SCHEDULING OF THE INSTALLATION OF UTILITIES WITH ADJACENT CONTRACTORS AND CITY STAFF.
- ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL PAVEMENT CONNECTIONS SHALL BE SAWCUT. ALL TRAFFIC CONTROLS SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
- ALL STRUCTURES, PUBLIC AND PRIVATE, SHALL BE ADJUSTED TO PROPOSED GRADES WHERE REQUIRED. THE REQUIREMENTS OF ALL OWNERS MUST BE COMPLIED WITH. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH PRIVATE UTILITY COMPANIES.
- CONTRACTOR SHALL COORDINATE CONNECTION OF IRRIGATION SERVICE TO UTILITIES. COORDINATE THE INSTALLATION OF IRRIGATION SLEEVES NECESSARY AS TO NOT IMPACT INSTALLATION OF UTILITIES.
- CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.
- ALL JOINTS AND CONNECTIONS IN STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, OR OTHER STRUCTURES.
- ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MN RULES, CHAPTER 4714, SECTION 1109.0.

UTILITY LEGEND:

- CATCH BASIN
- MANHOLE
- GATE VALVE AND VALVE BOX
- PROPOSED FIRE HYDRANT
- WATER MAIN
- SANITARY SEWER
- STORM SEWER
- FES AND RIP RAP



Know what's below.  
Call before you dig.



1" = 10'-0"  
5'-0" 0 10'-0"

PRELIMINARY:  
NOT FOR  
CONSTRUCTION

PROJECT  
112 EAST LAKE STREET

112 EAST LAKE STREET, MINNEAPOLIS, MN

BRIGHT PIXEL DESIGN

802 LOWER JOHNSON CIRCLE, ST. PETER, MN 56082

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavsek  
DATE 11/02/20 LICENSE NO. 44263

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| 10/20/2020              | PDR SUBMITTAL |
| 11/02/2020              | PDR SUBMITTAL |

DRAWN BY: KB, KW REVIEWED BY: MP  
PROJECT NUMBER: 20267

| REVISION SUMMARY |             |
|------------------|-------------|
| DATE             | DESCRIPTION |
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|                  |             |
|                  |             |

UTILITY PLAN

C4.0



PRELIMINARY:  
NOT FOR  
CONSTRUCTION

PROJECT  
**112 EAST LAKE STREET**  
112 EAST LAKE STREET, MINNEAPOLIS, MN  
**BRIGHT PIXEL DESIGN**  
802 LOWER JOHNSON CIRCLE, ST. PETER, MN 56082

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavak  
DATE: 11/02/20 LICENSE NO. 44263

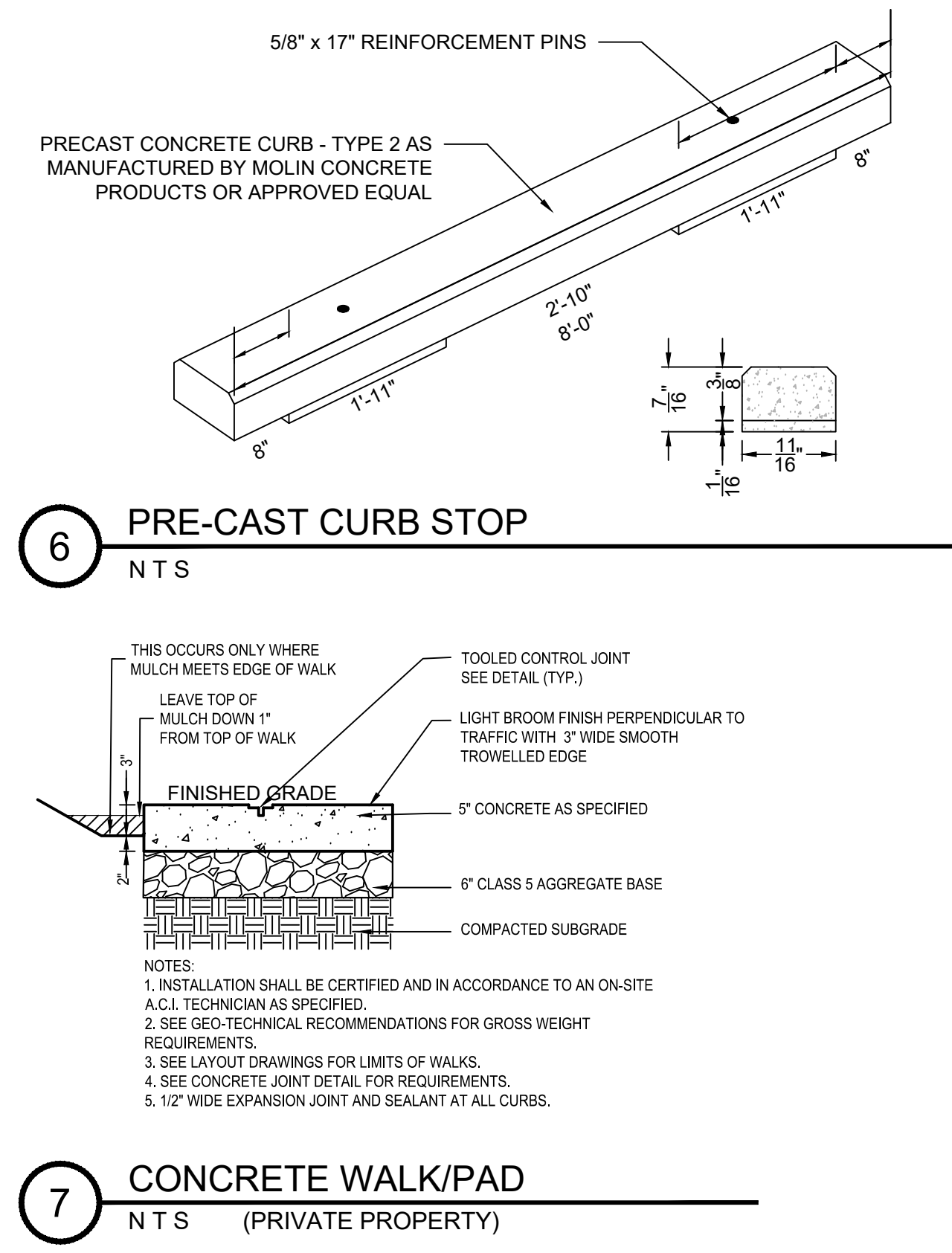
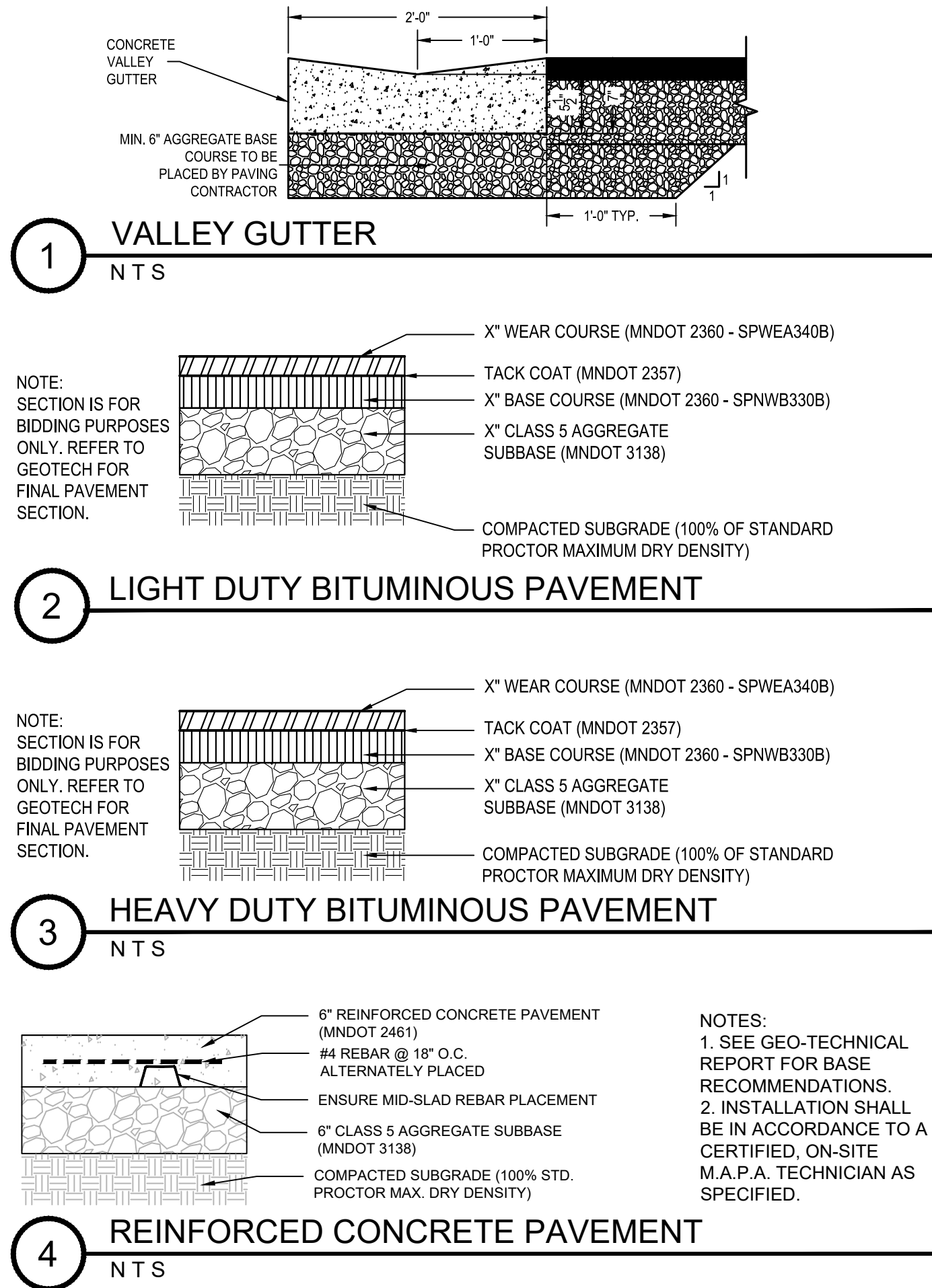
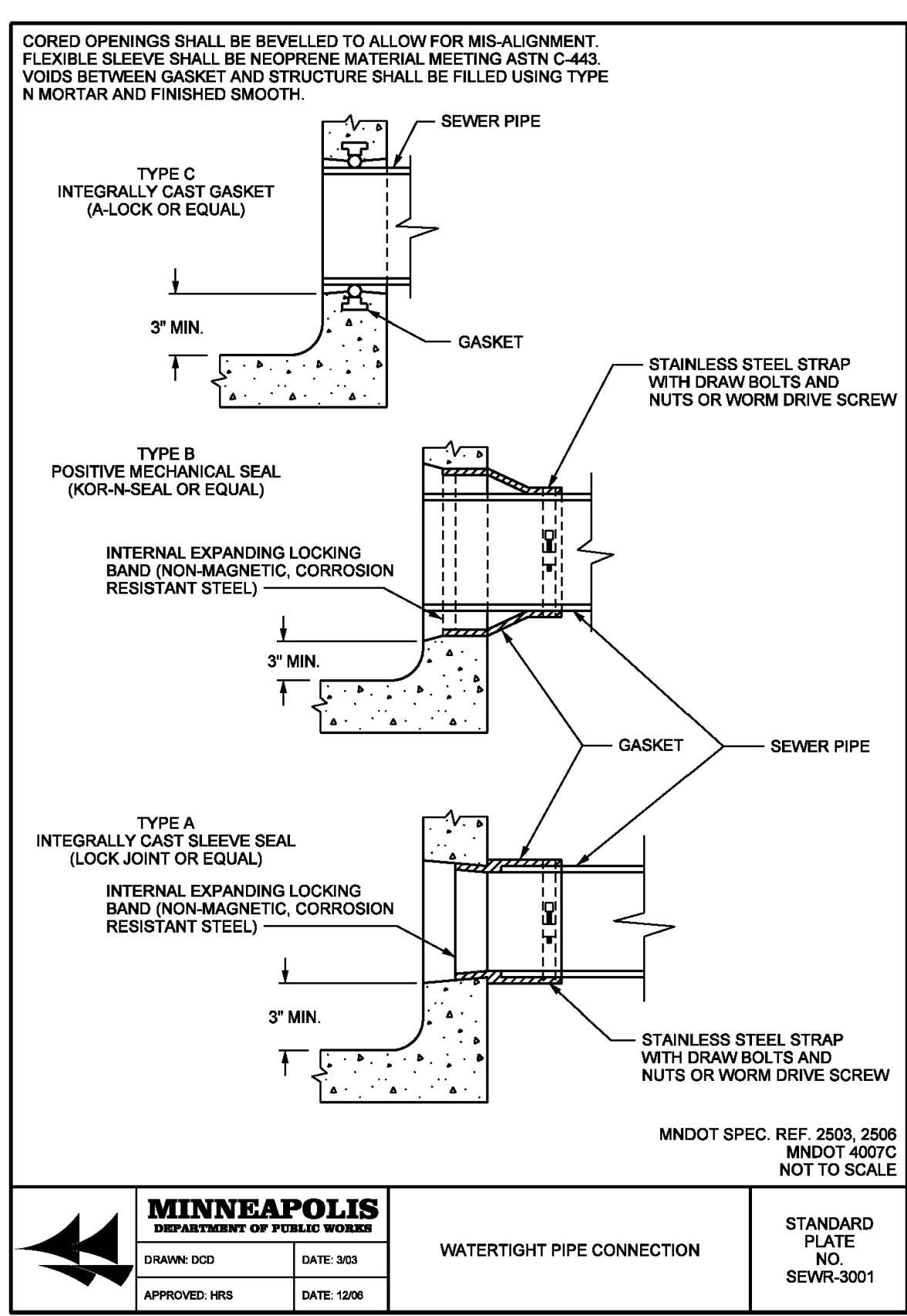
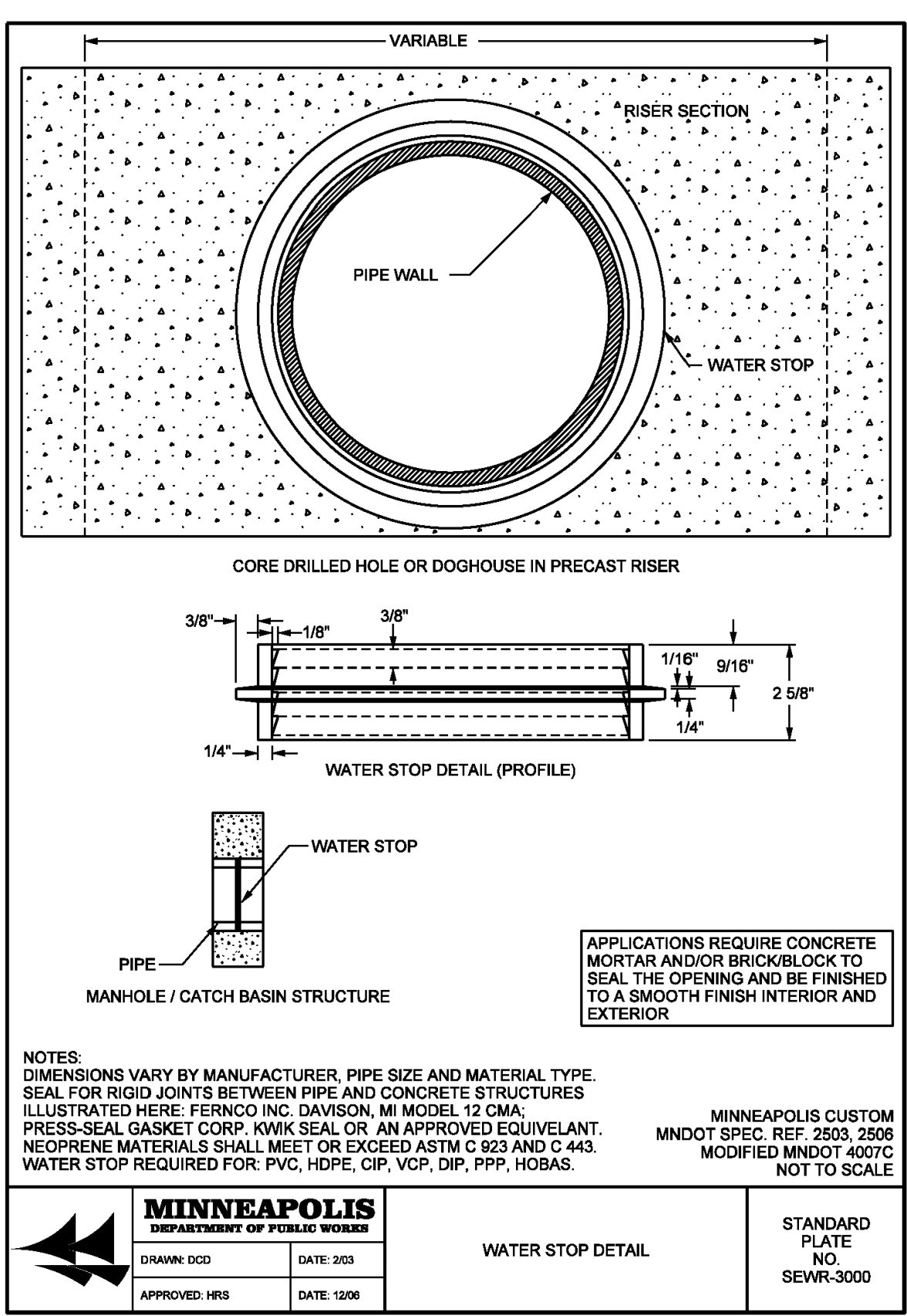
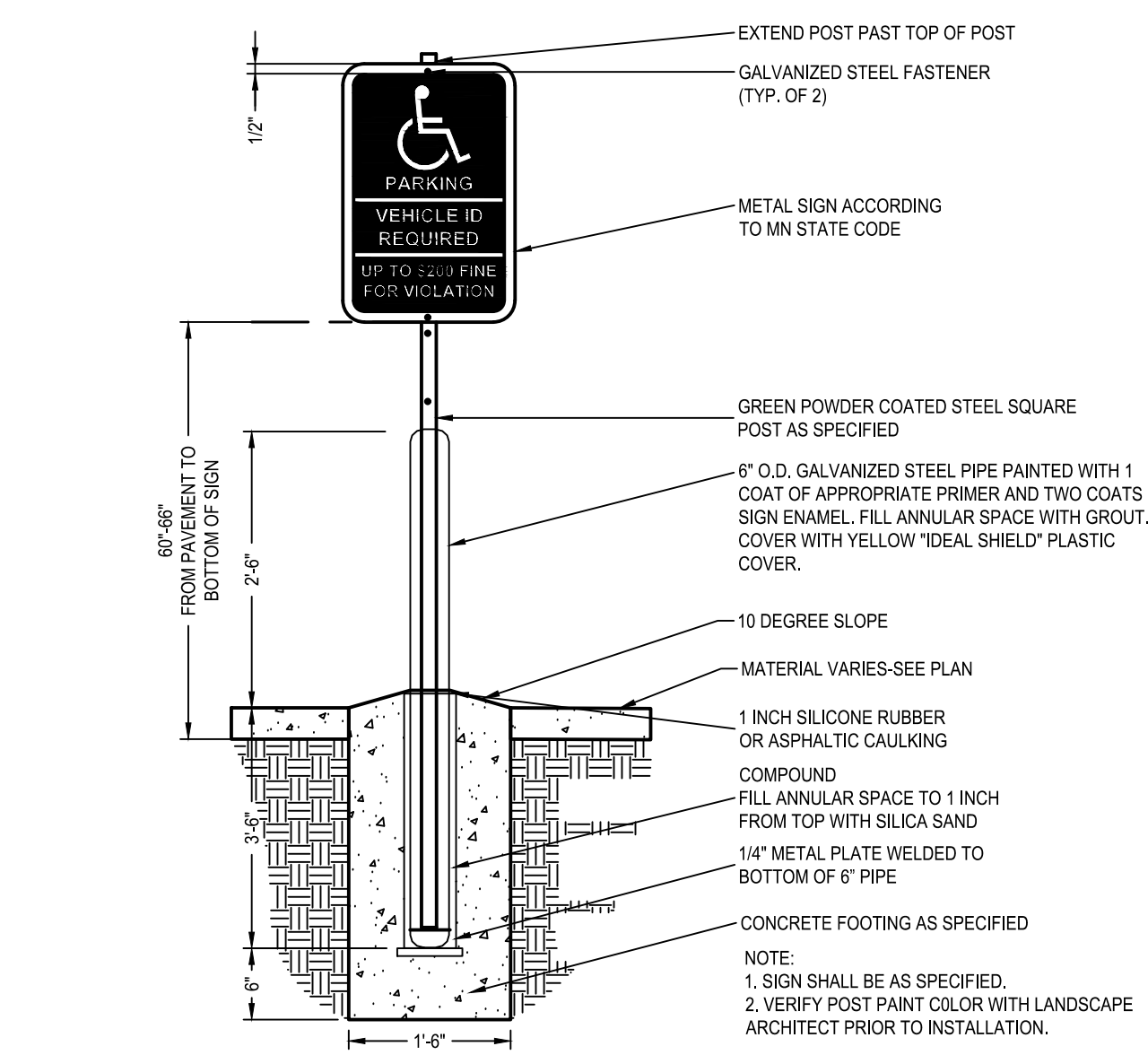
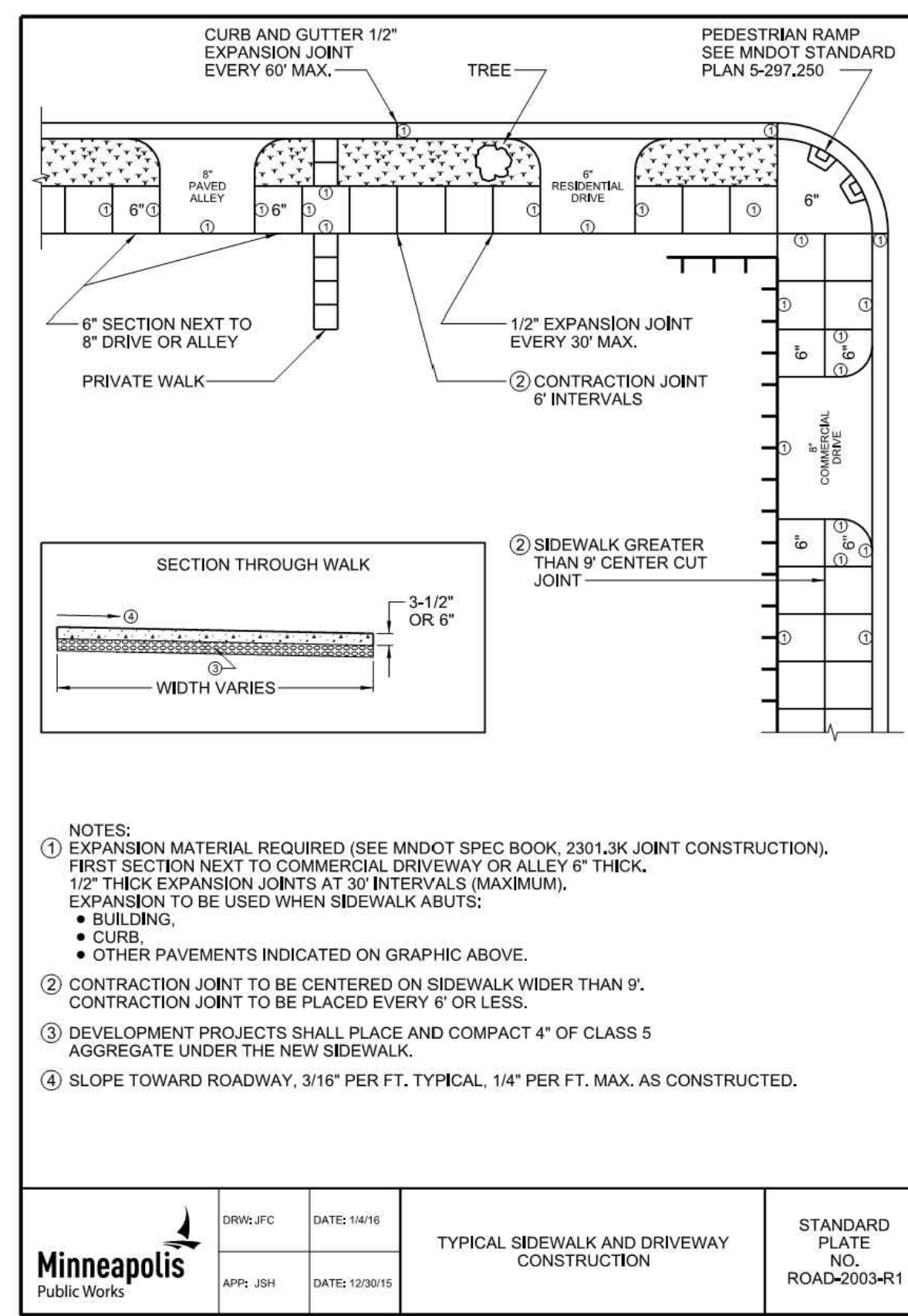
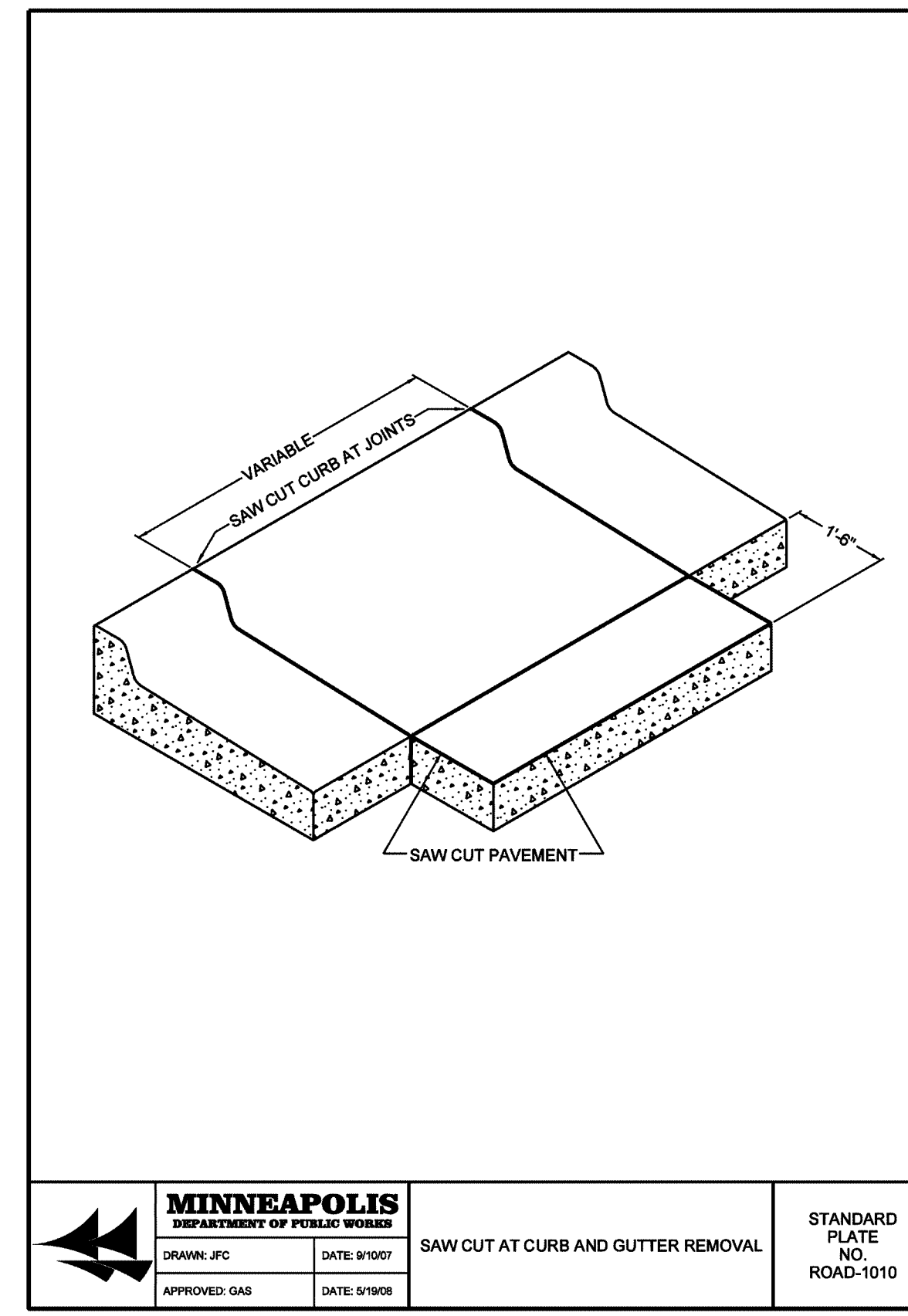
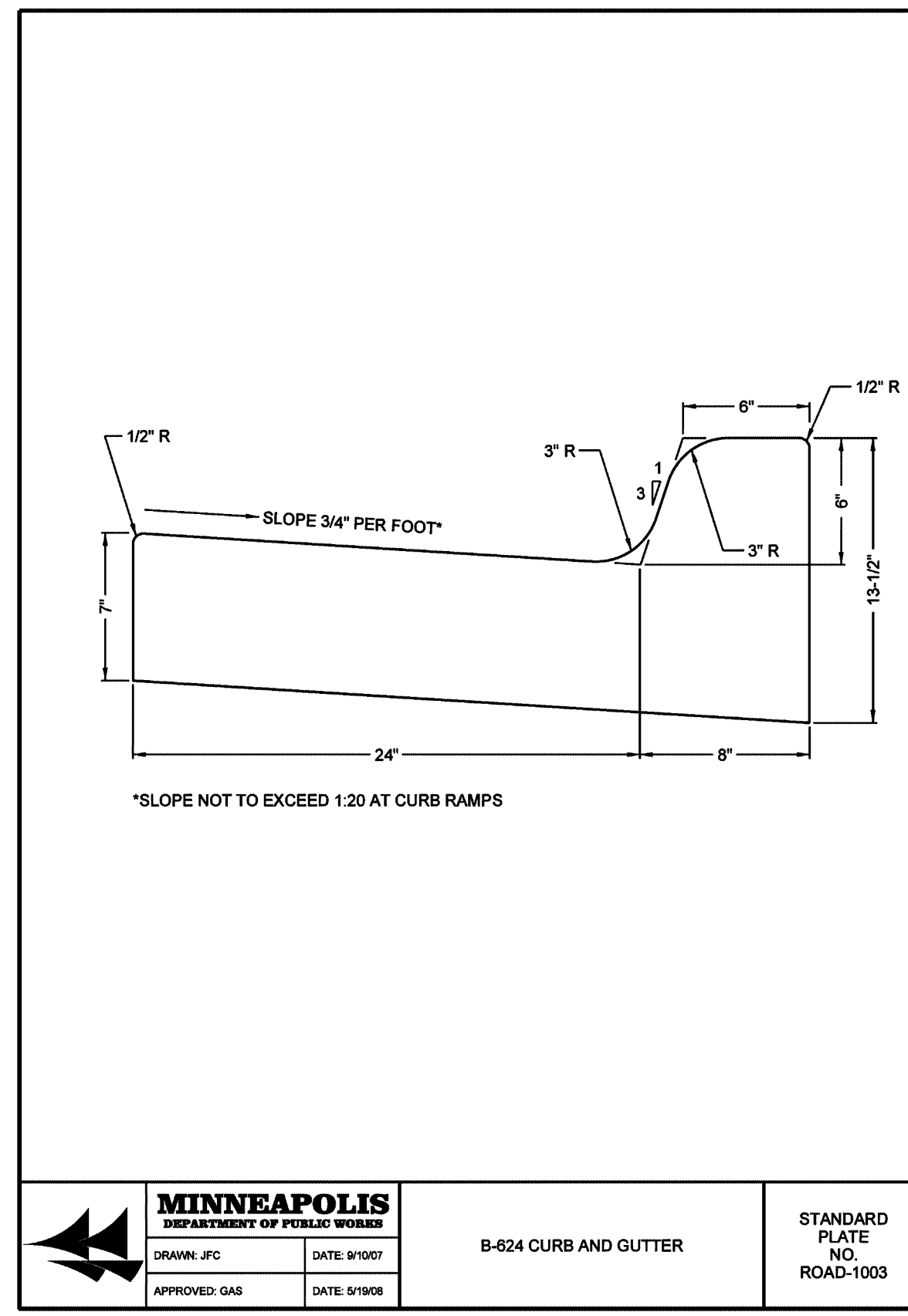
| ISSUE/SUBMITTAL SUMMARY |               |
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| 10/08/2020              | PDR SUBMITTAL |
| 10/20/20                | PDR SUBMITTAL |
| 11/02/20                | PDR SUBMITTAL |

DRAWN BY: KB, KW REVIEWED BY: MP  
PROJECT NUMBER: 20267

| REVISION SUMMARY |             |
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| DATE             | DESCRIPTION |
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CIVIL DETAILS

C5.0





PRELIMINARY:  
NOT FOR  
CONSTRUCTION

**112 EAST LAKE STREET**  
112 EAST LAKE STREET, MINNEAPOLIS, MN  
**BRIGHT PIXEL DESIGN**  
802 LOWER JOHNSON CIRCLE, ST. PETER, MN 56082

PROJECT  
**112 EAST LAKE STREET**  
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavlek  
DATE 11/02/20 LICENSE NO. 44263

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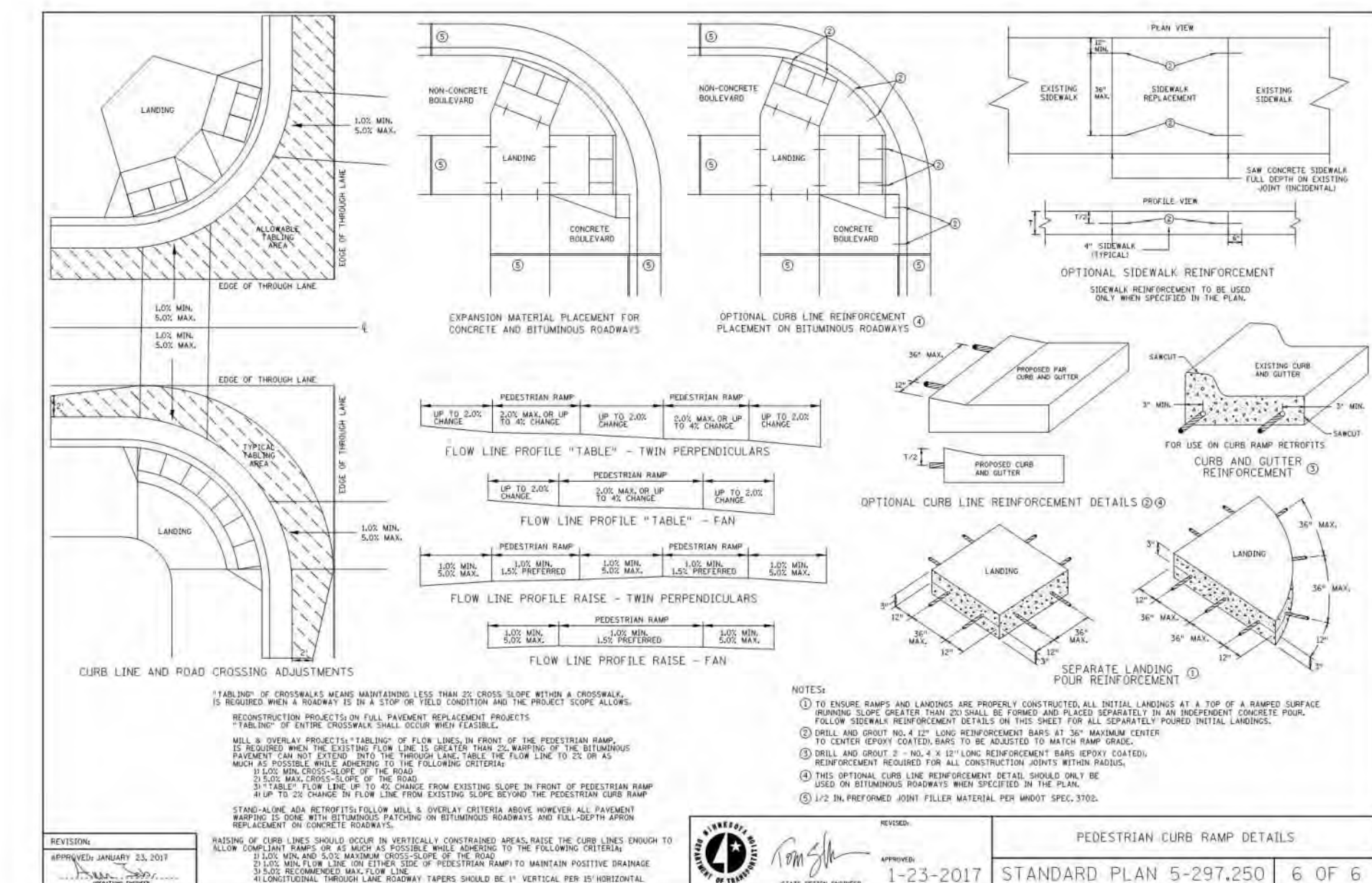
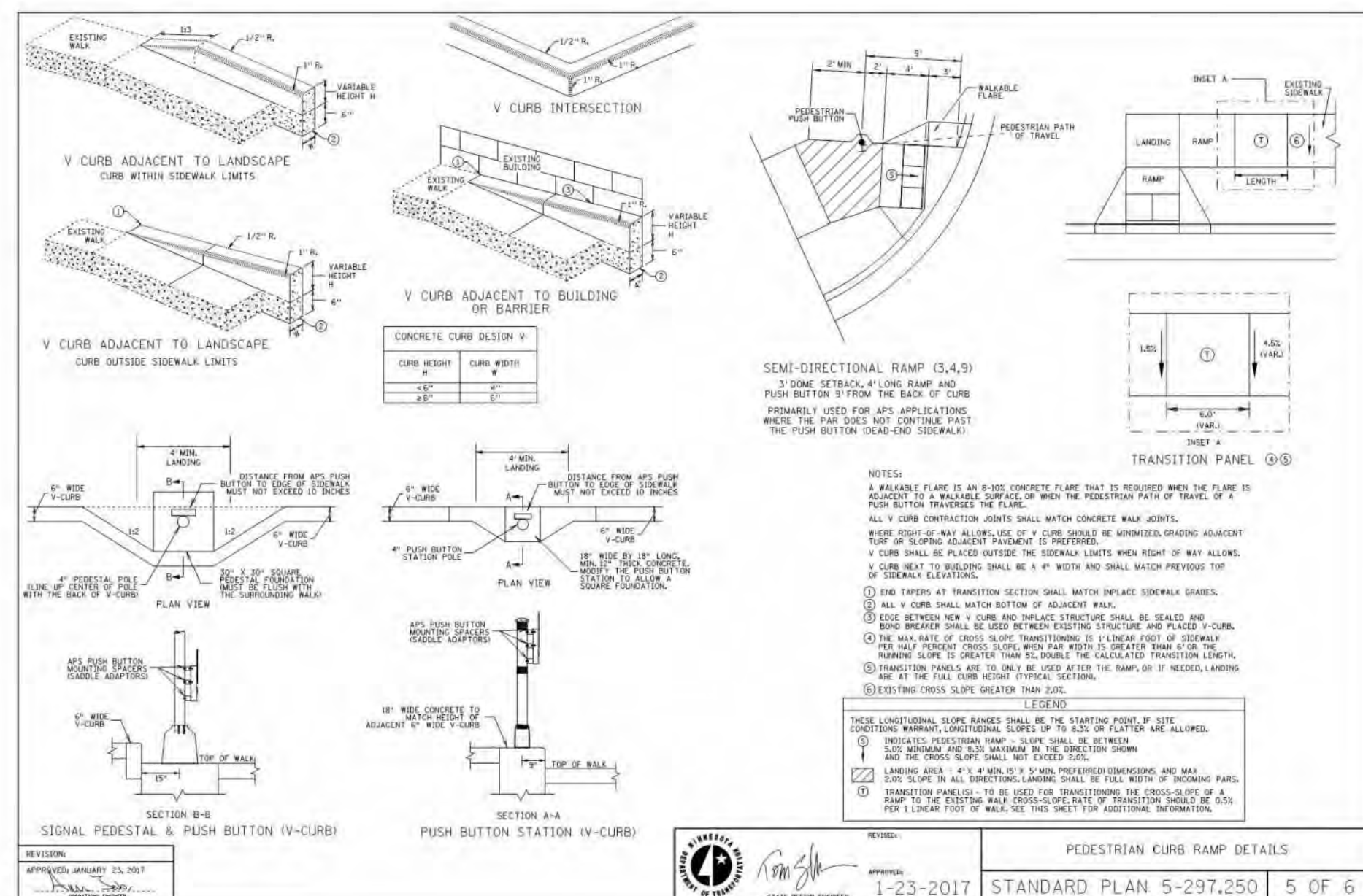
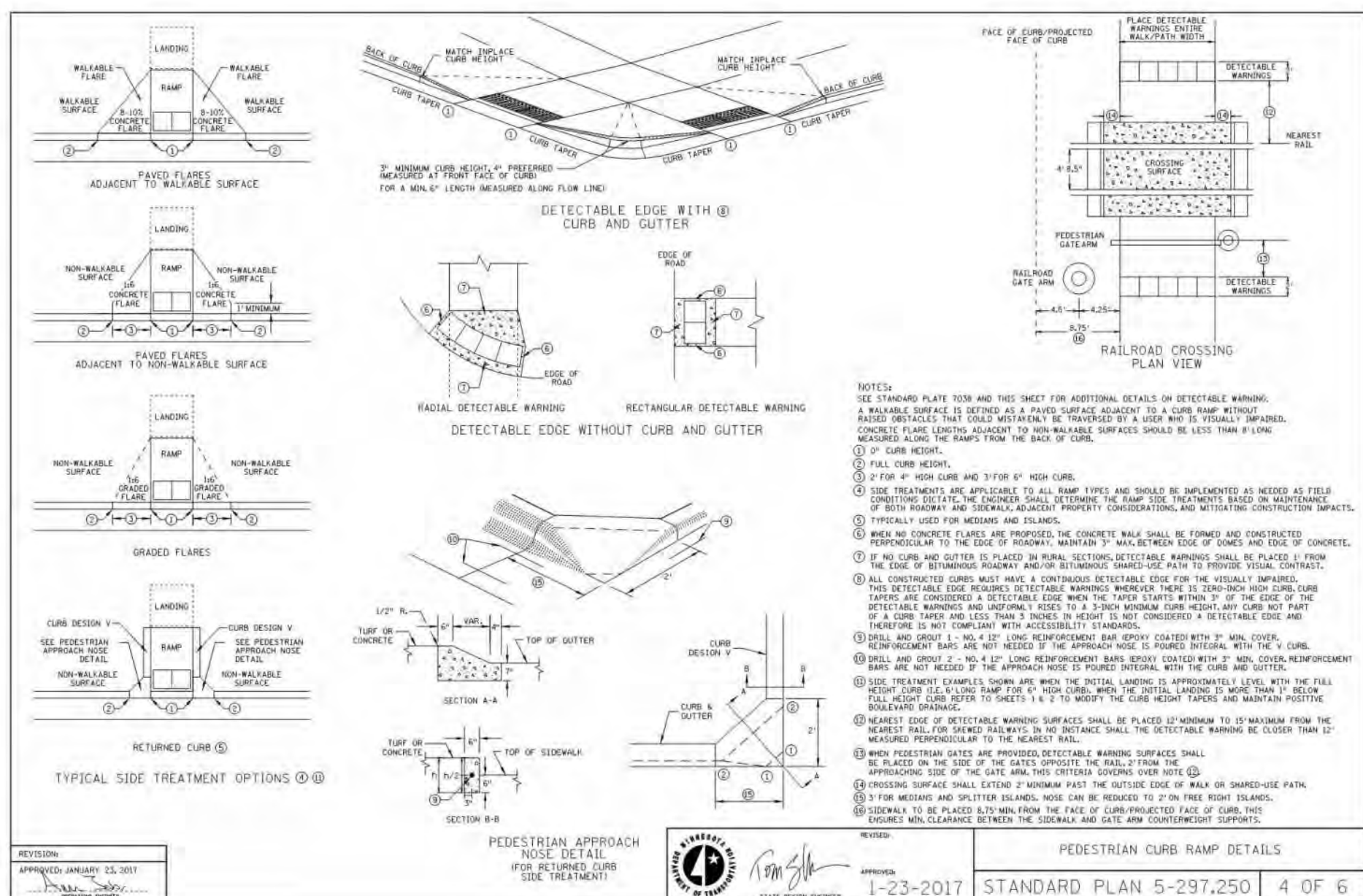
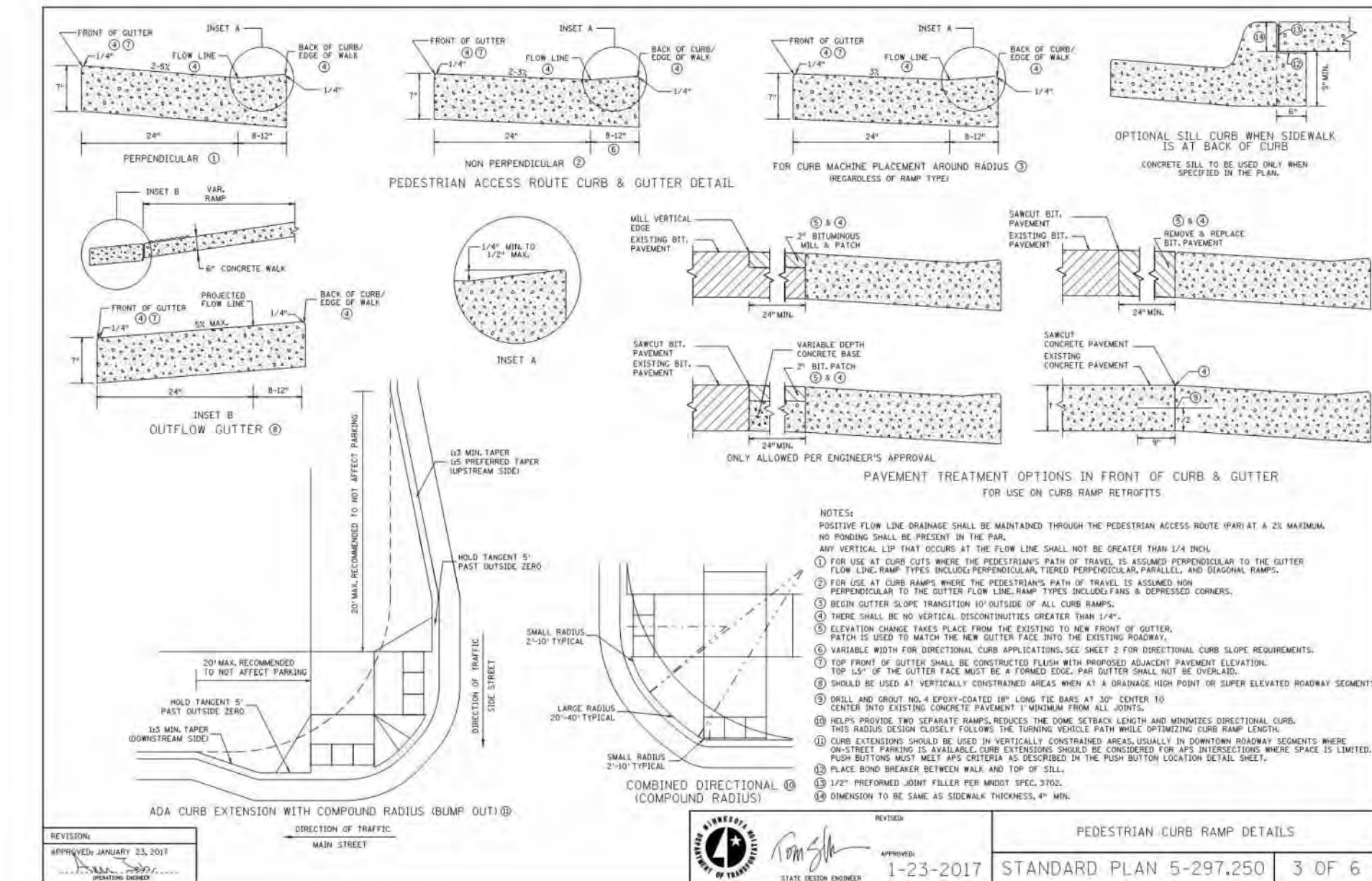
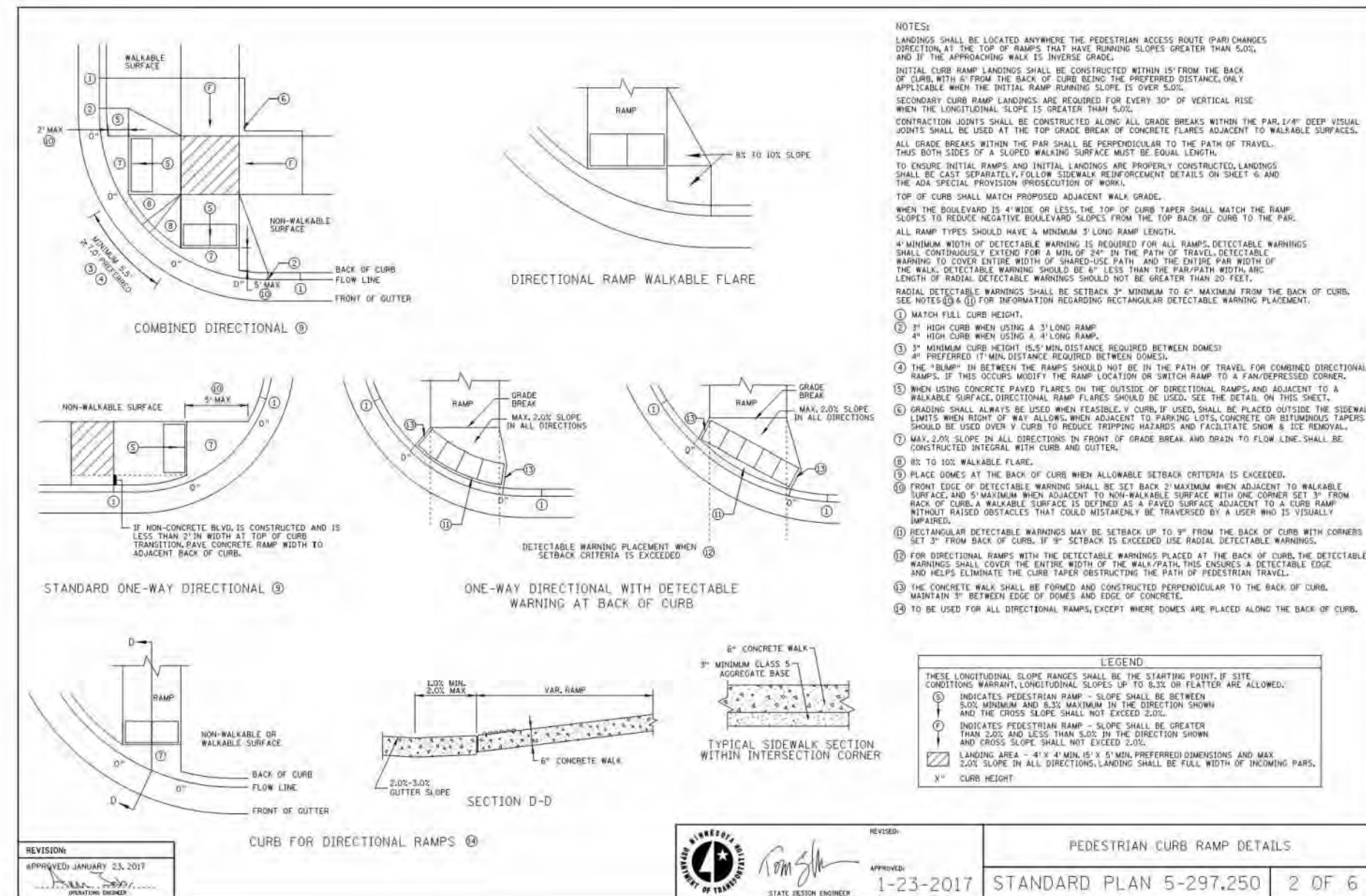
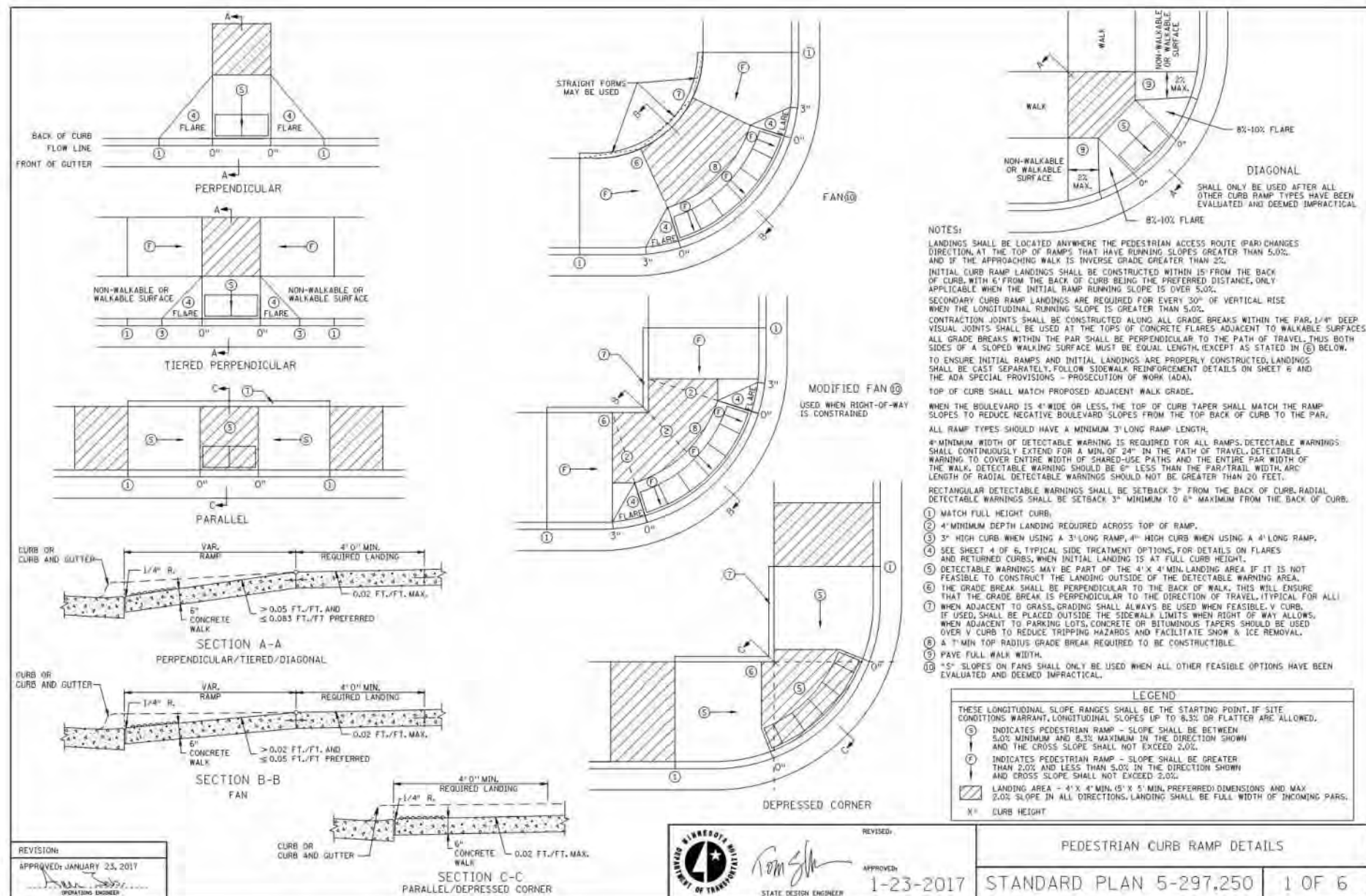
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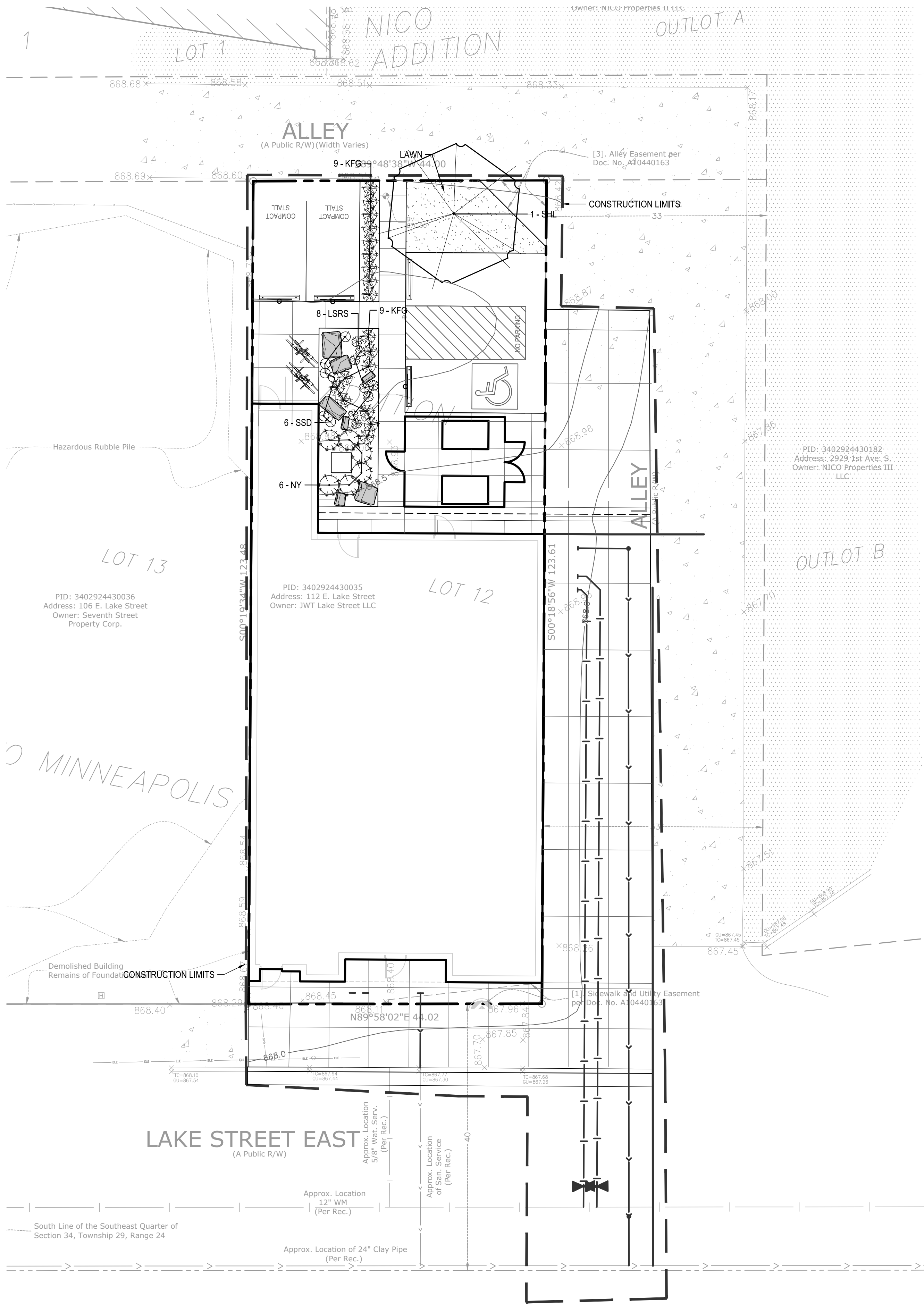
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| 11/02/2021 | PDR SUBMITTAL |







LANDSCAPE NOTES:

- WHERE SHOWN, SHRUB & PERENNIAL BEDS SHALL BE MULCHED WITH 4" DEPTH (MINIMUM AFTER INSTALLATION AND/OR TOP DRESSING OPERATIONS) OF SHREDDED CYPRESS MULCH.
- ALL TREES SHALL BE MULCHED WITH SHREDDED CYPRESS MULCH TO OUTER EDGE OF SAUCER OR TO EDGE OF PLANTING BED, IF APPLICABLE. ALL MULCH SHALL BE KEPT WITHIN A MINIMUM OF 2" FROM TREE TRUNK.
- IF SHOWN ON PLAN, RANDOM SIZED LIMESTONE BOULDERS COLOR AND SIZE TO COMPLIMENT NEW LANDSCAPING. OWNER TO APPROVE BOULDER SAMPLES PRIOR TO INSTALLATION.
- PLANT MATERIALS SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE AND DISFIGURATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLUMPNESS OF PLANT MATERIAL FOR DURATION OF ACCEPTANCE PERIOD.
- UPON DISCOVERY OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE SCHEDULE AND THE QUANTITY SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
- CONDITION OF VEGETATION SHALL BE MONITORED BY THE LANDSCAPE ARCHITECT THROUGHOUT THE DURATION OF THE CONTRACT. LANDSCAPE MATERIALS PART OF THE CONTRACT SHALL BE WARRANTED FOR ONE (1) FULL GROWING SEASONS FROM SUBSTANTIAL COMPLETION DATE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 4" LAYER TOPSOIL AND SOD AS SPECIFIED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- COORDINATE LOCATION OF VEGETATION WITH UNDERGROUND AND OVERHEAD UTILITIES, LIGHTING FIXTURES, DOORS AND WINDOWS. CONTRACTOR SHALL STAKE IN THE FIELD FINAL LOCATION OF TREES AND SHRUBS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANT MATERIALS SHALL BE WATERED AND MAINTAINED UNTIL ACCEPTANCE.
- REPAIR AT NO COST TO OWNER ALL DAMAGE RESULTING FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
- SWEEP AND MAINTAIN ALL PAVED SURFACES FREE OF DEBRIS GENERATED FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
- REPAIR AT NO COST TO THE OWNER IRRIGATION SYSTEM DAMAGED FROM LANDSCAPE CONSTRUCTION ACTIVITIES.
- PROVIDE SITE WIDE IRRIGATION SYSTEM DESIGN AND INSTALLATION. SYSTEM SHALL BE FULLY PROGRAMMABLE AND CAPABLE OF ALTERNATE DATE WATERING. THE SYSTEM SHALL PROVIDE HEAD TO HEAD OR DRIP COVERAGE AND BE CAPABLE OF DELIVERING ONE INCH OF PRECIPITATION PER WEEK. SYSTEM SHALL EXTEND INTO THE PUBLIC RIGHT-OF-WAY TO THE EDGE OF PAVEMENT/BACK OF CURB.
- CONTRACTOR SHALL SECURE APPROVAL OF PROPOSED IRRIGATION SYSTEM INCLUDING PRICING FROM OWNER, PRIOR TO INSTALLATION.

PLANT SCHEDULE - ENTIRE SITE

| SYM                             | QUANT. | COMMON NAME                      | BOTANICAL NAME                             | SIZE      | ROOT  | POLLINATOR FRIENDLY | NATIVE | COMMENTS                   |
|---------------------------------|--------|----------------------------------|--|-----------|-------|---------------------|--------|----------------------------|
| DECIDUOUS TREES                 |        |                                  |  |           |       |                     |        |                            |
| SHL                             | 1      | SKYLINE HONEYLOCUST              | Gleditsia triacanthos 'Skycole'            | 2.5" CAL. | B&B   |                     |        | STRAIGHT LEADER, FULL FORM |
| SHRUBS - CONIFEROUS & EVERGREEN |        |                                  |  |           |       |                     |        |                            |
| NY                              | 6      | NOVA YEW                         | Taxus cuspidata 'Nova'                     | 36" HT.   | CONT. |                     |        |                            |
| PERENNIALS/ORNAMENTAL GRASSES   |        |                                  |  |           |       |                     |        |                            |
| KFG                             | 18     | KARL FOERSTER FEATHER REED GRASS | Calamagrostis x acutiflora 'Karl Foerster' | #1        | CONT. |                     |        |                            |
| LSRS                            | 8      | LITTLE SPIRE RUSSIAN SAGE        | Perovskia 'Little Spire'                   | #1        | CONT. | X                   |        |                            |
| SSD                             | 6      | STELLA SUPREME DAYLILY           | Hemerocallis 'Stella Supreme'              | #1        | CONT. | X                   | X      |                            |

LANDSCAPE CALCULATIONS:

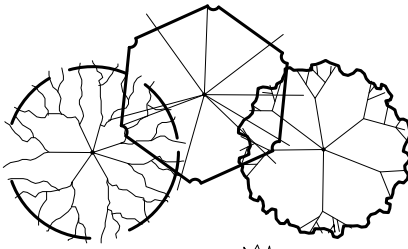
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| PROPOSED LANDSCAPE AREA CALCULATION:       |            |            |                       |
| SITE AREA - BUILDING COVERAGE = OPEN SPACE |            |            |                       |
| 5,437.0 SF                                 | -          | 3,319.0 SF | = 2,118.0 SF          |
| 20% OF OPEN SPACE = LANDSCAPE AREA         |            |            |                       |
| 20% X                                      | 2,118.0 SF | =          | 423.6 SF REQUIRED     |
| 22% X                                      | 2,118.0 SF | =          | 465.0 SF PROVIDED     |
| 91.4% PROPOSED IMPERVIOUS RATIO            |            |            |                       |
| PROPOSED LANDSCAPE:                        |            |            |                       |
| 1 TREE/ 500 SF OF "LANDSCAPE AREA"         |            |            |                       |
| 423.6 SF                                   | /          | 500        | = 1 TREES REQUIRED    |
| SEE PLANT SCHEDULE                         |            |            |                       |
| 1 SHRUB/100 SF OR "LANDSCAPE AREA"         |            |            |                       |
| 423.6 SF                                   | /          | 100        | = 4.2 SHRUBS REQUIRED |
| SEE PLANT SCHEDULE                         |            |            |                       |

POLLINATOR SAFE PLANT MATERIAL:

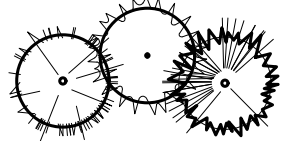
- THE CONTRACTOR SHALL PROVIDE ONLY PLANT MATERIAL FREE OF NEONICOTINOID BASED INSECTICIDES AND/OR TREATMENTS OF ANY KIND, INCLUDING BY NOT LIMITED TO IMIDACLOPRID (CONFIDOR, ADMIRE, GAUCHO, ADVOCATE), THIAMETHOXAM (ACTARA, PLATINUM, CRUISER), CLOTHIANIDIN (PONCHO, DANTOSU, DANTOP), ACETAMIPRID (MOSPILAN, ASSAIL, CHIPCOTRISTAR), THIAICLOPRID (CALYPSO), DINOTEFURAN (STARKLE, SAFARI, VENOM), AND NITENPYRAN (CAPSTAR, GUARDIAN).
- CONTRACTOR SHALL CERTIFY, THROUGH SUPPLIERS POLICY STATEMENT OR AFFIDAVIT, THAT NO NEONICOTINOID BASED INSECTICIDES HAVE BEEN USED ON SITE OR DIRECTLY ADJACENT TO THE GROWING OR STORAGE PLOTS OF THE SUPPLIED PLANT MATERIAL, INCLUDING THE PLANTING OF AGRICULTURAL (OR OTHER) SEED TREATED WITH NEONICS..

LANDSCAPE LEGEND

- PLANTING BEDS & TREE RINGS - SHREDDED CEDAR MULCH, SAMPLES REQUIRED, PROVIDE EDGING AS SHOWN ON PLAN
- LAWN - SOD
- 1" DIA. ROCK MAINTENANCE STRIP OVER FILTER FABRIC, SAMPLES REQUIRED. PROVIDE EDGING AS SHOWN ON PLAN



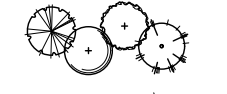
PROPOSED CANOPY TREE SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES



PROPOSED EVERGREEN TREE SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES



PROPOSED ORNAMENTAL TREE SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES



PROPOSED DECIDUOUS AND EVERGREEN SHRUB SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES



PROPOSED PERENNIAL PLANT SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES



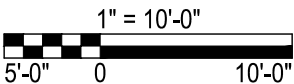
EDGING



DECORATIVE BOULDERS (ROUNDED & BLOCK STYLE), 18"-30" DIA.

CITY OF MINNEAPOLIS SITE SPECIFIC LANDSCAPE NOTES:

- ALL PROPOSED TREES IN THE PUBLIC RIGHT-OF-WAY ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE MINNEAPOLIS PARK BOARD. PLEASE CONTACT CRAIG PINKALLA AT (612) 499-9233 TO DISCUSS TREE SPECIES SELECTION, PLANTING METHOD, SPACING AND LOCATIONS. TREE PLANTING DETAILS SHALL BE INCLUDED IN THE PLANS. FOR ALL TREES PROPOSED IN "HARDSCAPE ENVIRONMENTS" WITHIN THE PUBLIC RIGHT-OF-WAY, THE APPLICANT SHALL PROVIDE ENGINEERED/STRUCTURED SOIL IN THE FORM OF A TREE TRENCH OR TREE PIT FOR ALL PROPOSED STREET TREES. LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY SHALL FOLLOW ESTABLISHED DESIGN STANDARDS IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS STANDARD SUPPLEMENTAL SPECIFICATIONS FOR CONSTRUCTION CURRENT EDITION AND ITS ATTACHMENTS (REFER TO THE FOLLOWING: [HTTP://WWW.MINNEAPOLISMN.GOV/PUBLICWORKS/PLATES/INDEX.HTM](http://www.minneapolismn.gov/publicworks/plates/index.htm)).



11/2/2020 1:04 PM

PRELIMINARY:  
NOT FOR  
CONSTRUCTION

PROJECT  
**112 EAST LAKE STREET**  
112 EAST LAKE STREET, MINNEAPOLIS, MN  
**BRIGHT PIXEL DESIGN**  
802 LOWER JOHNSON CIRCLE, ST. PETER, MN 56082

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Patrick J. Sarver  
DATE: 11/02/20 LICENSE No. 24904

| ISSUE/SUBMITTAL SUMMARY |               |
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| DATE                    | DESCRIPTION   |
| 10/08/2020              | PDR SUBMITTAL |
| 10/20/20                | PDR SUBMITTAL |
| 11/02/20                | PDR SUBMITTAL |

DRAWN BY: KB, KW REVIEWED BY: MP  
PROJECT NUMBER: 20267

| REVISION SUMMARY |             |
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| DATE             | DESCRIPTION |
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LANDSCAPE PLAN

L1.0





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1112 EAST LAKE STREET, MINNEAPOLIS, MN

**BRIGHT PIXEL DESIGN**  
802 LOWER JOHNSON CIRCLE, ST. PETER, MN 56082

  
Matthew R. Pavak  
DATE 11/02/20 LICENSE NO. 44263

| DATE       | DESCRIPTION   |
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| 10/08/2020 | PDR SUBMITTAL |
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SW1.0

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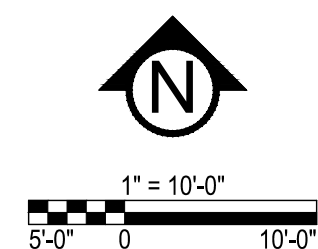
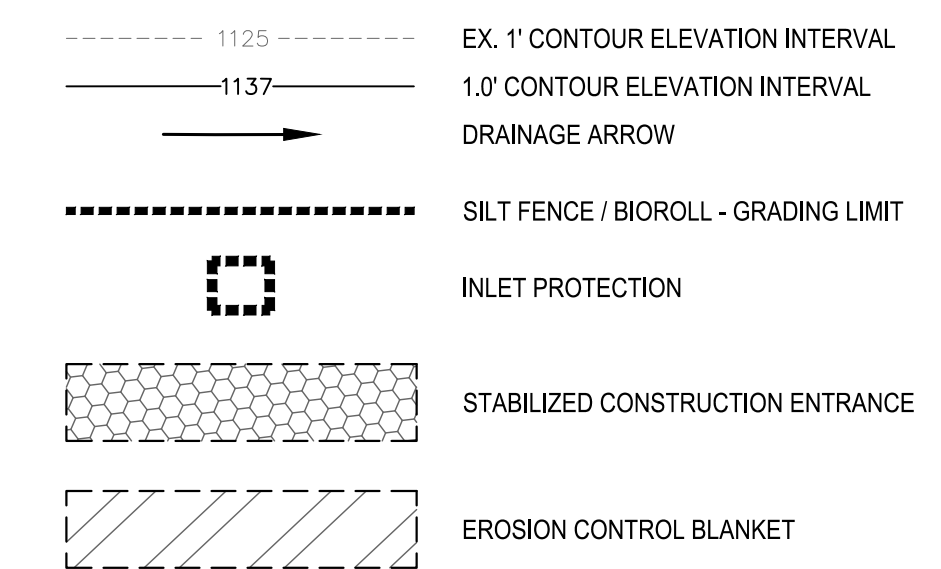
1. THIS PROJECT IS LESS THAN ONE ACRE AND WILL NOT REQUIRE AN MPCA NPDES PERMIT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY EROSION CONTROL PERMITS REQUIRED BY THE CITY.
2. SEE SHEETS SW1.0 - SW1.3 FOR ALL EROSION CONTROL NOTES, DESCRIPTIONS, AND PRACTICES.
3. SEE GRADING PLAN FOR ADDITIONAL GRADING AND EROSION CONTROL NOTES.
4. CONTRACTOR IS RESPONSIBLE FOR SWPPP IMPLEMENTATION, INSPECTIONS, AND COMPLIANCE WITH NPDES PERMIT.

ALL SPECIFIED EROSION AND SEDIMENT CONTROL PRACTICES, AND MEASURES CONTAINED IN THIS SWPPP ARE THE MINIMUM REQUIREMENTS. ADDITIONAL PRACTICES MAY BE REQUIRED DURING THE COURSE OF CONSTRUCTION.

## CITY OF MINNEAPOLIS EROSION CONTROL NOTES:

1. OWNERS AND OPERATORS ARE RESPONSIBLE FOR COMPLYING WITH REGULATIONS AND OBTAINING ANY NECESSARY COVERAGE UNDER THE MPCA'S GENERAL PERMIT TO DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY (PERMIT NO. MN R100001).

LEGEND:





PRELIMINARY:  
NOT FOR  
CONSTRUCTION

PROJECT  
**112 EAST LAKE STREET**  
112 EAST LAKE STREET, MINNEAPOLIS, MN  
**BRIGHT PIXEL DESIGN**  
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DATE: 11/02/20 LICENSE NO. 44263

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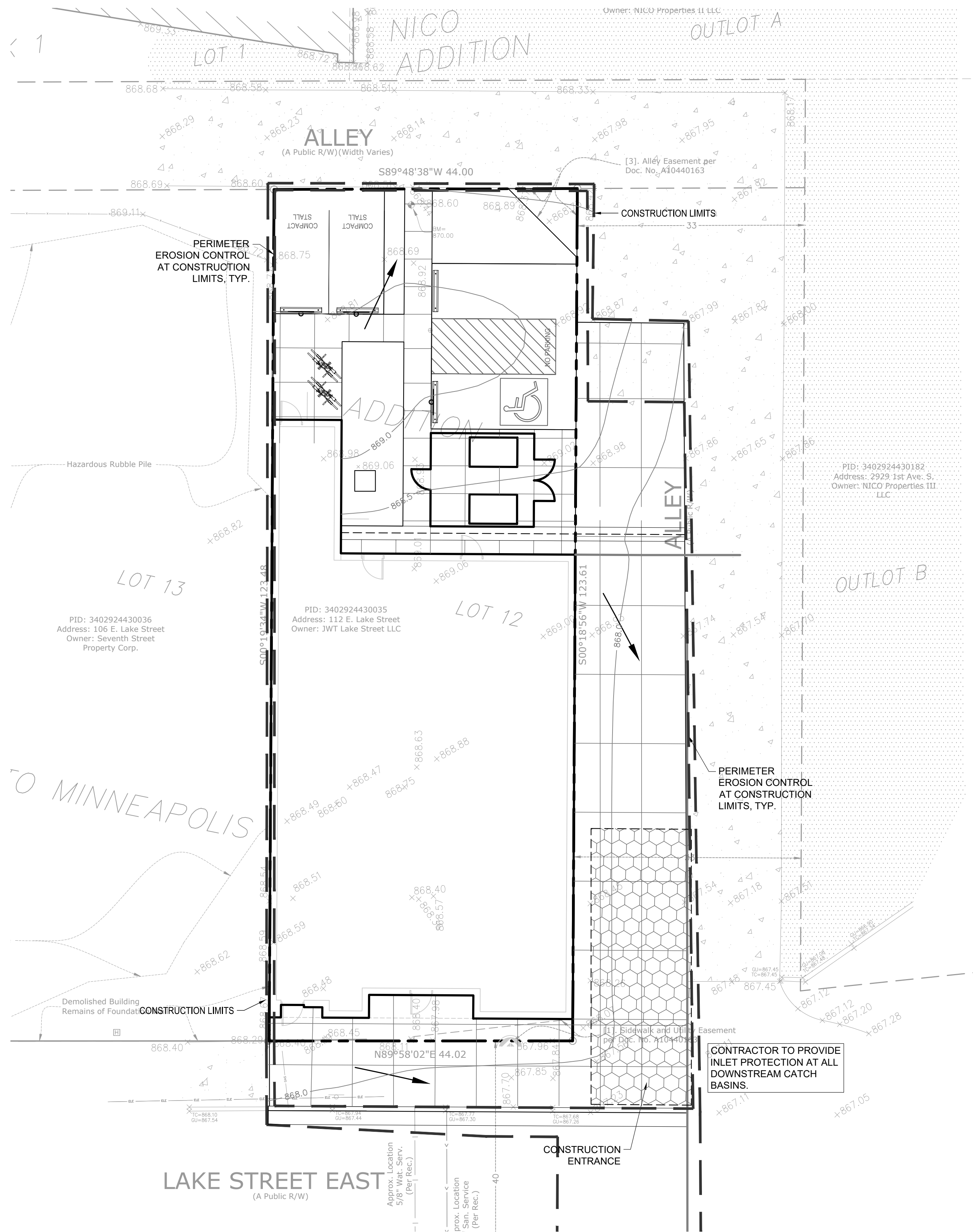
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DRAWN BY: KB, KW REVIEWED BY: MP  
PROJECT NUMBER: 20267

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SWPPP - PROPOSED  
CONDITIONS

**SW1.1**  
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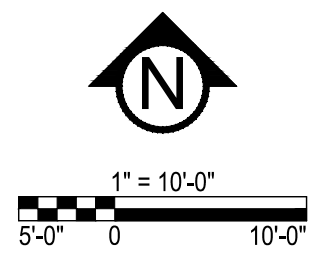


- SWPPP NOTES:**
1. THIS PROJECT IS LESS THAN ONE ACRE AND WILL NOT REQUIRE AN MPCA NPDES PERMIT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY EROSION CONTROL PERMITS REQUIRED BY THE CITY.
  2. SEE SHEETS SW1.0 - SW1.3 FOR ALL EROSION CONTROL NOTES, DESCRIPTIONS, AND PRACTICES.
  3. SEE GRADING PLAN FOR ADDITIONAL GRADING AND EROSION CONTROL NOTES.
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- CITY OF MINNEAPOLIS EROSION CONTROL NOTES:**
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- LEGEND:**
- EX. 1' CONTOUR ELEVATION INTERVAL
  - 1.0' CONTOUR ELEVATION INTERVAL
  - DRAINAGE ARROW
  - SILT FENCE / BIOROLL - GRADING LIMIT
  - INLET PROTECTION
  - STABILIZED CONSTRUCTION ENTRANCE
  - EROSION CONTROL BLANKET






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SWPPP - DETAILS

SW1.2

## City of Minneapolis Standard Erosion Control Notes

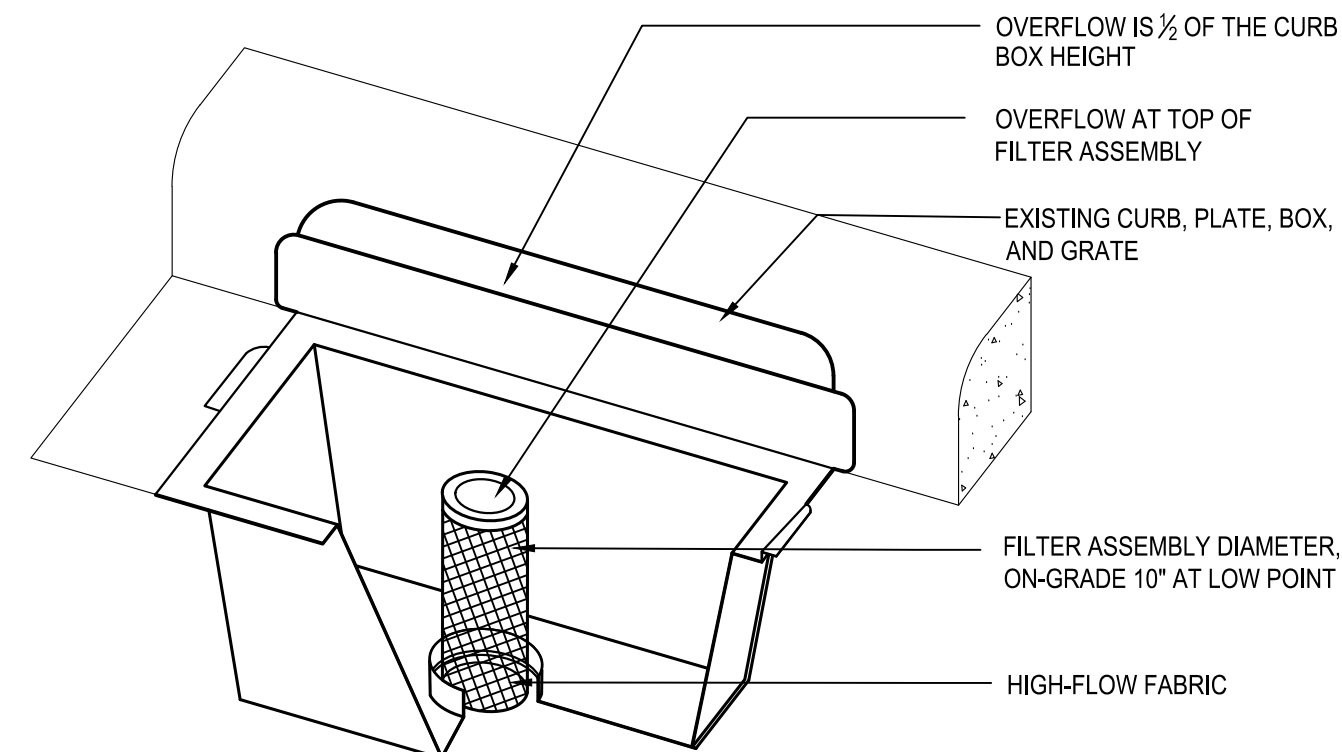


City of Minneapolis Standard Erosion and Sediment Control Notes for Plans  
These notes may be used as performance standards or requirements for projects not meeting the threshold for a formal plan.

- Contractor must call a construction start 48 hours prior to any land disturbances 612-673-3867. Failure to do so may result in fines, the revocation of permit and a stop work order being issued.
- Install perimeter erosion control at the locations shown on the plans prior to the commencement of any land disturbance or construction activities.
- Before beginning construction, install a temporary rock construction entrance at each point where vehicles exit the construction site. Use 2 inch or greater diameter rock in a layer at least 6 inches thick across the entire width of the entrance. Extend the rock entrance at least 50 feet into the construction zone using a geo-textile fabric beneath the aggregate to prevent migration of soil into the rock from below.
- Remove all soils and sediments tracked or otherwise deposited onto public and private pavement areas. Removal shall be on a daily basis when tracking occurs and may be ordered by Minneapolis inspectors at any time if conditions warrant. Sweeping shall be maintained throughout the duration of the construction and done in a manner to prevent dust being blown to adjacent properties.
- Install inlet protection at all public and private catch basin inlets, which receive runoff from the disturbed areas. Contractor shall clean, remove sediment or replace storm drain inlet protection devices on a routine basis such that the devices are fully functional for the next rain event. Sediment deposited in and/or plugging drainage systems is the responsibility of the contractor. Hay bales or filter fabric wrapped grates are not allowed for inlet protection.
- Locate soil or dirt stockpiles no less than 25 feet from any public or private roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, tarps, or other means. Control erosion from all stockpiles by placing silt barriers around the piles. Temporary stockpiles located on paved surfaces must be no less than two feet from the drainage/gutter line and shall be covered if left more than 24 hours.
- Maintain all temporary erosion and sediment control devices in place until the contributing drainage area has been stabilized. Inspect temporary erosion and sediment control devices on a daily basis and replace deteriorated, damaged, or rotted erosion control devices immediately.
- Temporarily or permanently stabilize all construction areas which have undergone final grading, and all areas in which grading or site building construction operations are not actively underway against erosion due to rain, wind and running water within 7-14 days. Use seed and mulch, erosion control matting, and/or sodding and staking in green space areas. Remove all temporary synthetic, structural, non-biodegradable erosion and sediment control devices after the site has undergone final stabilization with permanent vegetation establishment. Final stabilization for purposes of this removal is 70% established cover over denuded area.
- Ready mixed concrete and concrete batch/mix plants are prohibited within the public right of way. All concrete related production, cleaning and mixing activities shall be done in the designated *concrete mixing/washout* locations as shown in the *erosion control plan*. Under no circumstance may washout water drain onto the public right of way or into any public or private storm drain conveyance.
- Changes to approved erosion control plan must be approved by the erosion control inspector prior to implementation. Contractor to provide installation and details for all proposed alternate type devices.
- If dewatering or pumping of water is necessary, the contractor is responsible for obtaining any necessary permits and/or approvals prior to discharge of any water from the site. If the discharge from the dewatering or pumping process is turbid or contains sediment laden water, it must be treated through the use of sediment traps, vegetative filter strips, or other sediment reducing measures such that the discharge is not visibly different from the receiving water. Additional erosion control measures may be required at the discharge point to prevent scour erosion. The contractor shall provide a dewatering/pumping plan to the Erosion Control Inspector prior to initiating dewatering activities.

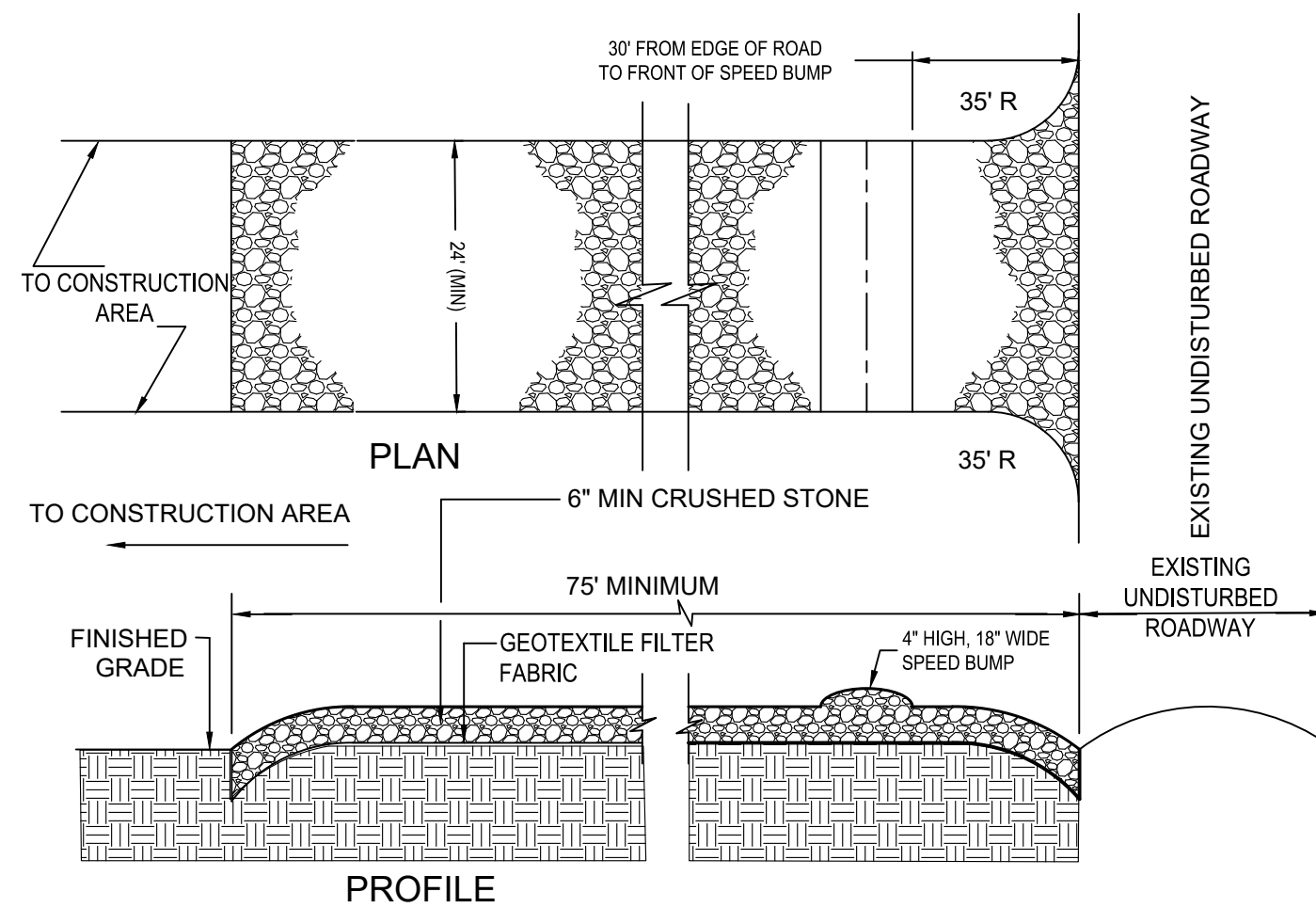


PREPARED BY: THE CITY OF MINNEAPOLIS PUBLIC WORKS SURFACE WATER AND SEWERS [WWW.CITYMINNEAPOLIS.MN.US/STORMWATER](http://WWW.CITYMINNEAPOLIS.MN.US/STORMWATER)  
JANUARY 7, 2011



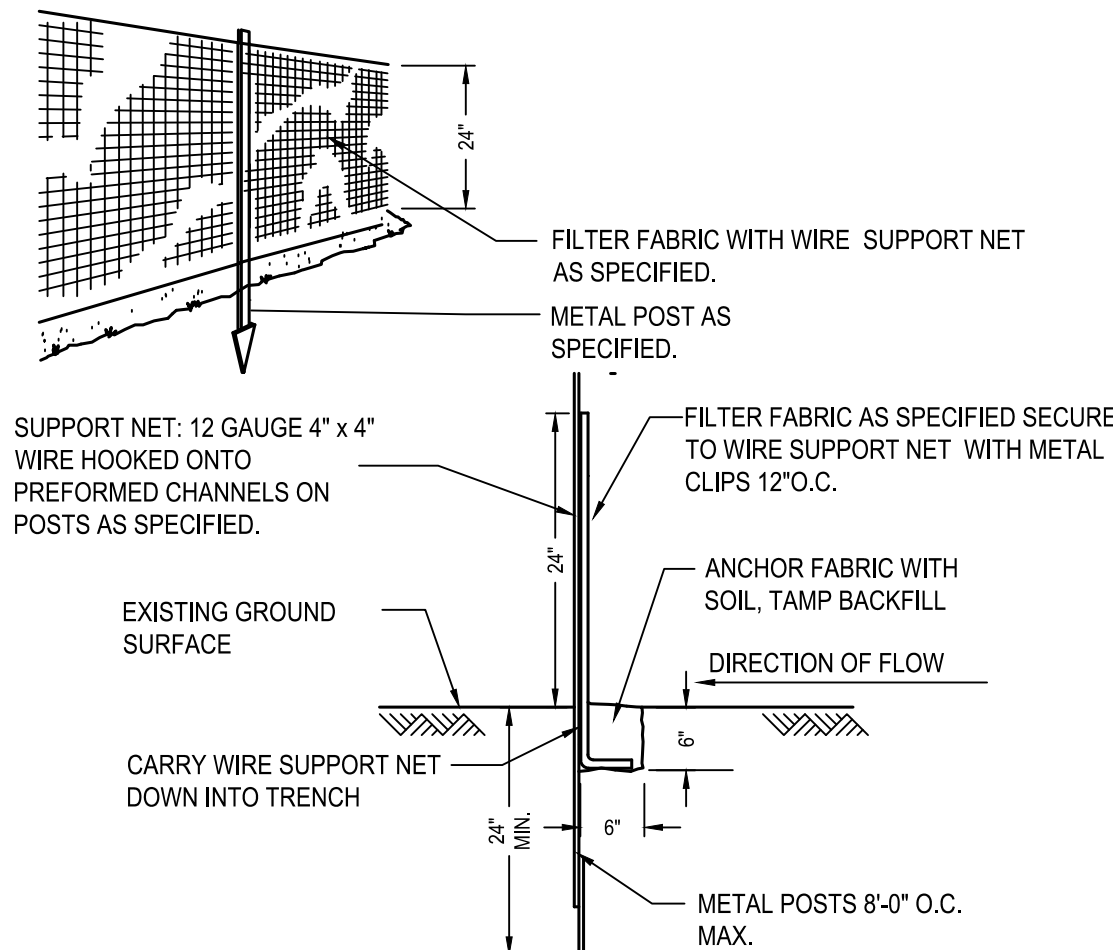
- NOTES:
- REPLACE INLET GRATE UPON COMPLETE INSTALLATION OF INLET PROTECTION FABRIC.
  - CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM THE SURFACE OF THE SYSTEM AFTER EACH STORM EVENT AND AT THE COMPLETION OF THE CONTRACT.
  - REFERENCE APPLE VALLEY STANDARD PLATE ERO-4C.

### 1 CURB INLET FILTER N T S

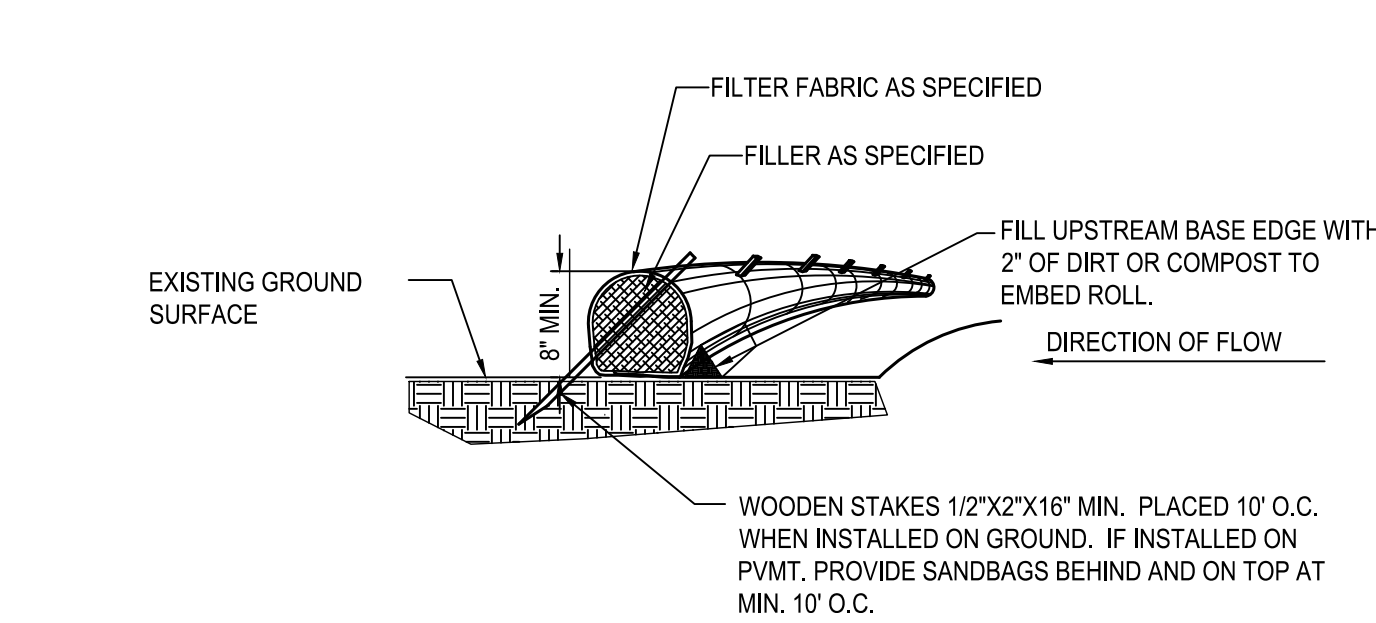


- NOTES:
- PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND UNDISTURBED ROADWAY.
  - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO UNDISTURBED ROADWAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDING STONE TO THE LENGTH OF THE ENTRANCE.
  - REPAIR AND CLEANOUT MEASURES USED TO TRAP SEDIMENT.
  - ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO UNDISTURBED ROADWAY SHALL BE REMOVED AS DIRECTED BY THE ENGINEER.
  - FINAL LOCATION AND INSTALLATION SHALL BE COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
  - CRUSHED STONE SHALL BE 1-1/2" DIA. CLOSE GRADED, AND IN ACCORDANCE TO MNDOT SECTION 2118.

### 2 STABILIZED CONSTRUCTION ACCESS N T S



### 3 SEDIMENT FENCE N T S



- NOTE:
- COMPOST FILTER LOGS (BIO ROLLS) SHALL BE FILTREXX EROSION CONTROL SOXX OR APPROVED EQUAL.
  - COMPOST FILLER TO BE MADE FROM A COMPOST BLEND 30%-40% GRADE 2 (SPEC 3890) AND 60%-70% PARTIALLY DECOMPOSED WOOD CHIPS, PER MNDOT SPEC 3897.
  - FILTER FABRIC SHALL BE GEOTEXTILE KNITTED MATERIAL WITH MAX. OPENINGS OF 3/8".
  - IF MULTIPLE ROLLS NEEDED, OVERLAP BY MIN. 12" AT ENDS AND STAKE.
  - SILT SHALL BE REMOVED ONCE IT REACHES 80% OF THE HEIGHT OF THE ROLL OR AS DEEMED NECESSARY BY SITE CONTRACTOR TO MAINTAIN PROPER FUNCTION.

### 4 SEDIMENT BIO-ROLL / COMPOST FILTER LOG N T S



THE CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED WITH A CONSTRUCTION ACTIVITY THAT DISTURBS SITE SOIL OR WHO IMPLEMENT A POLLUTANT CONTROL MEASURE IDENTIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT (DATED AUGUST 1, 2016 # MN10010001) AND ANY LOCAL GOVERNING AGENCY HAVING JURISDICTION CONCERNING EROSION AND SEDIMENTATION CONTROL.

## STORMWATER DISCHARGE DESIGN REQUIREMENTS

### SWPPP

THE NATURE OF THIS PROJECT WILL BE CONSISTENT WITH WHAT IS REPRESENTED IN THIS SET OF CONSTRUCTION PLANS AND SPECIFICATIONS. SEE THE SWPPP PLAN SHEETS AND SWPPP NARRATIVE (ATTACHMENT A: CONSTRUCTION SWPPP TEMPLATE) FOR ADDITIONAL SITE SPECIFIC SWPPP INFORMATION. THE PLANS SHOW LOCATIONS AND TYPES OF ALL TEMPORARY AND PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMP'S. STANDARD DETAILS ARE ATTACHED TO THIS SWPPP DOCUMENT.

THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES IS AS FOLLOWS:

1. INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE
2. INSTALLATION OF SILT FENCE AROUND SITE
3. INSTALL ORANGE CONSTRUCTION FENCING AROUND INFILTRATION AREAS.
4. CLEAR AND GRUB FOR TEMPORARY SEDIMENT BASIN / POND INSTALL
5. CONSTRUCT TEMPORARY SEDIMENT BASIN / POND (SECTION 14)
6. CLEAR AND GRUB REMAINDER OF SITE
7. STRIP AND STOCKPILE TOPSOIL
8. ROUGH GRADING OF SITE
9. STABILIZE DENUDED AREAS AND STOCKPILES
10. INSTALL SANITARY SEWER, WATER MAIN STORM SEWER AND SERVICES
11. INSTALL SILT FENCE / INFILTRATION PROTECTION AROUND CBS
12. INSTALL STREET SECTION
13. INSTALL CURB AND GUTTER
14. BITUMINOUS ON STREETS
15. FINAL GRADE BOULEVARD, INSTANT SEED AND MULCH
16. REMOVE ACCUMULATED SEDIMENT FROM BASIN / POND
17. FINAL GRADE POND / INFILTRATION BASINS (DO NOT COMPACT SOILS IN INFILTRATION AREAS.)
18. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED BY EITHER SEED OR SOD/LANDSCAPING, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.

### RECORDS RETENTION:

THE SWPPP (ORIGINAL OR COPIES) INCLUDING, ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION BY THE PERMITTEE WHO HAS OPERATIONAL CONTROL OF THAT PORTION OF THE SITE. THE SWPPP CAN BE KEPT IN EITHER THE FIELD OFFICE OR IN AN ON-SITE VEHICLE DURING NORMAL WORKING HOURS.

ALL OWNER(S) MUST KEEP THE SWPPP, ALONG WITH THE FOLLOWING ADDITIONAL RECORDS, ON FILE FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOT AS OUTLINED IN SECTION 4. THIS DOES NOT INCLUDE ANY RECORDS AFTER SUBMITTAL OF THE NOT.

1. THE FINAL SWPPP;
2. ANY OTHER STORMWATER RELATED PERMITS REQUIRED FOR THE PROJECT;
3. RECORDS OF ALL INSPECTION AND MAINTENANCE CONDUCTED DURING CONSTRUCTION (SEE SECTION 11, INSPECTIONS AND MAINTENANCE);
4. ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS THAT HAVE BEEN IMPLEMENTED, INCLUDING ALL RIGHT OF WAY, CONTRACTS, COVENANTS AND OTHER BINDING REQUIREMENTS REGARDING PERPETUAL MAINTENANCE; AND
5. ALL REQUIRED CALCULATIONS FOR DESIGN OF THE TEMPORARY AND PERMANENT STORMWATER MANAGEMENT SYSTEMS.

### SWPPP IMPLEMENTATION RESPONSIBILITIES:

1. THE OWNER AND CONTRACTOR ARE PERMITTEE(S) AS IDENTIFIED BY THE NPDES PERMIT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE IMPLEMENTATION OF THE SWPPP, INCLUDING THE ACTIVITIES OF ALL OF THE CONTRACTOR'S SUBCONTRACTORS.
3. CONTRACTOR SHALL PROVIDE A PERSON(S) KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMP'S TO OVERSEE ALL INSTALLATION AND MAINTENANCE OF BMP'S AND IMPLEMENTATION OF THE SWPPP.
4. CONTRACTOR SHALL PROVIDE PERSON(S) MEETING THE TRAINING REQUIREMENTS OF THE NPDES PERMIT TO CONDUCT INSPECTION AND MAINTENANCE OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S IN ACCORDANCE WITH THE REQUIREMENTS OF THE PERMIT. ONE OF THESE INDIVIDUAL(S) MUST BE AVAILABLE FOR AN ON-SITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY MPCA. CONTRACTOR SHALL PROVIDE TRAINING DOCUMENTATION FOR THESE INDIVIDUAL(S) AS REQUIRED BY THE NPDES PERMIT. THIS TRAINING DOCUMENTATION SHALL BE RECORDED IN OR WITH THE SWPPP BEFORE THE START OF CONSTRUCTION OR AS SOON AS THE PERSONNEL FOR THE PROJECT HAVE BEEN DETERMINED. DOCUMENTATION SHALL INCLUDE:
  - 4.1. NAMES OF THE PERSONNEL ASSOCIATED WITH THE PROJECT THAT ARE REQUIRED TO BE TRAINED PER SECTION 21 OF THE PERMIT.
  - 4.2. DATES OF TRAINING AND NAME OF INSTRUCTOR AND ENTITY PROVIDING TRAINING.
  - 4.3. CONTENT OF TRAINING COURSE OR WORKSHOP INCLUDING THE NUMBER OF HOURS OF TRAINING.
5. FOLLOWING FINAL STABILIZATION AND THE TERMINATION OF COVERAGE FOR THE NPDES PERMIT, THE OWNER IS EXPECTED TO FURNISH LONG TERM OPERATION AND MAINTENANCE (O & M) OF THE PERMANENT STORM WATER MANAGEMENT SYSTEM.

## CONSTRUCTION ACTIVITY REQUIREMENTS

### SWPPP AMENDMENTS (SECTION 6):

1. ONE OF THE INDIVIDUALS DESCRIBED IN ITEM 21.2.A OR ITEM 21.2.B OR ANOTHER QUALIFIED INDIVIDUAL MUST COMPLETE ALL SWPPP CHANGES. CHANGES INVOLVING THE USE OF A LESS STRINGENT BMP MUST INCLUDE A JUSTIFICATION DESCRIBING HOW THE REPLACEMENT BMP IS EFFECTIVE FOR THE SITE CHARACTERISTICS.
2. PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMP'S AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS HAVING A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER.
3. PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMP'S AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER INSPECTIONS OR INVESTIGATIONS BY THE SITE OWNER OR OPERATOR, USEPA OR MPCA OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER OR THE DISCHARGES ARE CAUSING WATER QUALITY STANDARD EXCEEDANCES (E.G., NUISANCE CONDITIONS AS DEFINED IN MINN. R. 7050.0210, SUBP. 2) OR THE SWPPP IS NOT CONSISTENT WITH THE OBJECTIVES OF A USEPA APPROVED TMDL.

### BMP SELECTION AND INSTALLATION (SECTION 7):

1. PERMITTEES MUST SELECT, INSTALL, AND MAINTAIN THE BMP'S IDENTIFIED IN THE SWPPP AND IN THIS PERMIT IN AN APPROPRIATE AND FUNCTIONAL MANNER AND IN ACCORDANCE WITH RELEVANT MANUFACTURER SPECIFICATIONS AND ACCEPTED ENGINEERING PRACTICES.

### EROSION PREVENTION (SECTION 8):

1. BEFORE WORK BEGINS, PERMITTEES MUST DELINEATE THE LOCATION OF AREAS NOT TO BE DISTURBED.
2. PERMITTEES MUST MINIMIZE THE NEED FOR DISTURBANCE OF PORTIONS OF THE PROJECT WITH STEEP SLOPES. WHEN STEEP SLOPES MUST BE DISTURBED, PERMITTEES MUST USE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINING AND TERRACING).
3. PERMITTEES MUST STABILIZE ALL EXPOSED SOIL AREAS, INCLUDING STOCKPILES. STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHEN CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED NO LATER THAN 14 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY HAS CEASED. STABILIZATION IS NOT REQUIRED ON CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES. STABILIZATION IS NOT REQUIRED ON TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G., CLEAN AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) BUT PERMITTEES MUST PROVIDE SEDIMENT CONTROLS AT THE BASE OF THE STOCKPILE.
4. FOR PUBLIC WATERS THAT THE MINNESOTA DNR HAS PROKULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPAWNING TIME FRAMES, PERMITTEES MUST COMPLETE STABILIZATION OF ALL EXPOSED SOIL AREAS WITHIN 200 FEET OF THE WATER'S EDGE, AND THAT DRAIN TO THESE WATERS, WITHIN 24 HOURS DURING THE RESTRICTION PERIOD.
5. PERMITTEES MUST STABILIZE THE NORMAL WETTED PERIMETER OF THE LAST 200 LINEAR FEET OF TEMPORARY OR PERMANENT DRAINAGE DITCHES OR SWALES THAT DRAIN WATER FROM THE SITE WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE. PERMITTEES MUST COMPLETE STABILIZATION OF REMAINING PORTIONS OF TEMPORARY OR PERMANENT DITCHES OR SWALES WITHIN 14 CALENDAR DAYS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE AND CONSTRUCTION IN THAT PORTION OF THE DITCH TEMPORARILY OR PERMANENTLY CEASES.
6. TEMPORARY OR PERMANENT DITCHES OR SWALES BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DURING CONSTRUCTION (WITH PROPERLY DESIGNED ROCK-DITCH CHECKS, BIO ROLLS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED. PERMITTEES MUST STABILIZE THESE AREAS WITHIN 24 HOURS AFTER THEIR USE AS A SEDIMENT CONTAINMENT SYSTEM CEASES
7. PERMITTEES MUST NOT USE MULCH, HYDROMULCH, TACKIFIER, POLYACRYLAMIDE OR SIMILAR EROSION PREVENTION PRACTICES WITHIN ANY PORTION OF THE NORMAL WETTED PERIMETER OF A TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE SECTION WITH A CONTINUOUS SLOPE OF GREATER THAN 2 PERCENT.
8. PERMITTEES MUST PROVIDE TEMPORARY OR PERMANENT ENERGY DISSIPATION AT ALL PIPE OUTLETS WITHIN 24 HOURS

AFTER CONNECTION TO A SURFACE WATER OR PERMANENT STORMWATER TREATMENT SYSTEM.

9. PERMITTEES MUST NOT DISTURB MORE LAND (I.E., PHASING) THAN CAN BE EFFECTIVELY INSPECTED AND MAINTAINED IN ACCORDANCE WITH SECTION 11.

### SEDIMENT CONTROL (SECTION 9):

1. PERMITTEES MUST ESTABLISH SEDIMENT CONTROL BMP'S ON ALL DOWNGRADEMENT PERIMETERS OF THE SITE AND DOWNGRADEMENT AREAS OF THE SITE THAT DRAIN TO ANY SURFACE WATER, INCLUDING CURB AND GUTTER SYSTEMS. PERMITTEES MUST LOCATE SEDIMENT CONTROL PRACTICES UPGRADIENT OF ANY BUFFER ZONES. PERMITTEES MUST INSTALL SEDIMENT CONTROL PRACTICES BEFORE ANY UPGRADIENT LAND-DISTURBING ACTIVITIES BEGIN AND MUST KEEP THE SEDIMENT CONTROL PRACTICES IN PLACE UNTIL THEY ESTABLISH PERMANENT COVER.
2. IF DOWNGRADEMENT SEDIMENT CONTROLS ARE OVERLOADED, BASED ON FREQUENT FAILURE OR EXCESSIVE MAINTENANCE REQUIREMENTS, PERMITTEES MUST INSTALL ADDITIONAL UPGRADIENT SEDIMENT CONTROL PRACTICES OR REDUNDANT BMP'S TO ELIMINATE THE OVERLOADING AND AMEND THE SWPPP TO IDENTIFY THESE ADDITIONAL PRACTICES AS REQUIRED IN ITEM 6.3.
3. TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS DESIGNED AS PART OF A SEDIMENT CONTAINMENT SYSTEM (E.G., DITCHES WITH ROCK-CHECK DAMS) REQUIRE SEDIMENT CONTROL PRACTICES ONLY AS APPROPRIATE FOR SITE CONDITIONS.
4. A FLOATING SILT CURTAIN PLACED IN THE WATER IS NOT A SEDIMENT CONTROL BMP TO SATISFY ITEM 9.2 EXCEPT WHEN WORKING ON A SHORELINE OR BELOW THE WATERLINE. IMMEDIATELY AFTER THE SHORT TERM CONSTRUCTION ACTIVITY (E.G., INSTALLATION OF RIP RAP ALONG THE SHORELINE) IN THAT AREA IS COMPLETE, PERMITTEES MUST INSTALL AN UPLAND PERIMETER CONTROL PRACTICE IF EXPOSED SOILS STILL DRAIN TO A SURFACE WATER.
5. PERMITTEES MUST RE-INSTALL ALL SEDIMENT CONTROL PRACTICES ADJUSTED OR REMOVED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES. IMMEDIATELY AFTER THE SHORT-TERM ACTIVITY IS COMPLETED, PERMITTEES MUST RE-INSTALL SEDIMENT CONTROL PRACTICES BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE SHORT-TERM ACTIVITY IS NOT COMPLETE.
6. PERMITTEES MUST PROTECT ALL STORM DRAIN INLETS USING APPROPRIATE BMP'S DURING CONSTRUCTION UNTIL THEY ESTABLISH PERMANENT COVER ON ALL AREAS WITH POTENTIAL FOR DISCHARGING TO THE INLET.
7. PERMITTEES MAY REMOVE INLET PROTECTION FOR A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (E.G. STREET FLOODING/FREEZING) IS IDENTIFIED BY THE PERMITTEES OR THE JURISDICTIONAL AUTHORITY (E.G. CITY/COUNTY/TOWN/SHP/MINNESOTA DEPARTMENT OF TRANSPORTATION ENGINEER). PERMITTEES MUST DOCUMENT THE NEED FOR REMOVAL IN THE SWPPP.
8. PERMITTEES MUST PROVIDE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AT THE BASE OF STOCKPILES ON THE DOWNGRADEMENT PERIMETER.
9. PERMITTEES MUST LOCATE STOCKPILES OUTSIDE OF NATURAL BUFFERS OR SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER.
10. PERMITTEES MUST INSTALL A VEHICLE TRACKING BMP TO MINIMIZE THE TRACK OUT OF SEDIMENT FROM THE CONSTRUCTION SITE OR ONTO PAVED ROADS WITHIN THE SITE.
11. PERMITTEES MUST USE STREET SWEEPING IF VEHICLE TRACKING BMP'S ARE NOT ADEQUATE TO PREVENT SEDIMENT TRACKING ONTO THE STREET.
12. PERMITTEES MUST INSTALL TEMPORARY SEDIMENT BASINS AS REQUIRED IN SECTION 14.
13. IN ANY AREAS OF THE SITE WHERE FINAL VEGETATIVE OR PHYSICAL STABILIZATION WILL OCCUR, PERMITTEES MUST RESTRICT VEHICLE AND EQUIPMENT USE TO MINIMIZE SOIL COMPACTION.
14. PERMITTEES MUST PRESERVE TOPSOIL ON THE SITE, UNLESS INFEASIBLE.
15. PERMITTEES MUST DIRECT DISCHARGES FROM BMP'S TO VEGETATED AREAS UNLESS INFEASIBLE.
16. PERMITTEES MUST PRESERVE A 50 FOOT NATURAL BUFFER OR, IF A BUFFER IS INFEASIBLE ON THE SITE, PROVIDE REDUNDANT (DOUBLE) PERIMETER SEDIMENT CONTROLS WHEN A SURFACE WATER IS LOCATED WITHIN 50 FEET OF THE PROJECT'S EARTH DISTURBANCES AND STORMWATER FLOWS TO THE SURFACE WATER. PERMITTEES MUST INSTALL PERIMETER SEDIMENT CONTROLS AT LEAST 5 FEET APART UNLESS LIMITED BY LACK OF AVAILABLE SPACE. NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES, JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS IF RESTORATION OF THE BUFFERS IS INFEASIBLE. PERMITTEES MUST DOCUMENT THE REASONS IN THE SWPPP. SHEET PILING IS A REDUNDANT PERIMETER CONTROL IF INSTALLED IN A MANNER THAT RETAINS ALL STORMWATER.
17. PERMITTEES MUST USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS. SEDIMENTATION TREATMENT PROVIDED BY THE MANUFACTURER OR SUPPLIER. THE PERMITTEES MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION AND MUST DIRECT TREATED STORMWATER TO A SEDIMENT CONTROL SYSTEM FOR FILTRATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE.

### DEWATERING AND BASIN DRAINING (SECTION 10):

1. PERMITTEES MUST DISCHARGE TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING OR BASIN DRAINING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENT BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. PERMITTEES MAY DEWATER TO SURFACE WATERS IF THEY VISUALLY CHECK TO ENSURE ADEQUATE TREATMENT AND NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF PERMITTEES CANNOT DISCHARGE THE WATER TO A SEDIMENTATION BASIN PRIOR TO ENTERING A SURFACE WATER, PERMITTEES MUST TREAT IT WITH APPROPRIATE BMP'S SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE SURFACE WATER OR DOWNSTREAM PROPERTIES.
2. IF PERMITTEES MUST DISCHARGE WATER CONTAINING OIL OR GREASE, THEY MUST USE AN OIL-WATER SEPARATOR OR SUITABLE FILTRATION DEVICE (E.G., CARTRIDGE FILTERS, ABSORBENTS PADS) PRIOR TO DISCHARGE.
3. PERMITTEES MUST DISCHARGE ALL WATER FROM DEWATERING OR BASIN-DRAINING ACTIVITIES IN A MANNER THAT DOES NOT CAUSE EROSION OR SCOUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS OR INUNDATION OF WETLANDS IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS THAT CAUSES SIGNIFICANT ADVERSE IMPACT TO THE WETLAND.
4. IF PERMITTEES USE FILTERS WITH BACKWASH WATER, THEY MUST TREAT THE BACKWASH WATER AWAY FOR DISPOSAL, RETURN THE BACKWASH WATER TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE THE BACKWASH WATER INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION.

### INSPECTIONS AND MAINTENANCE (SECTION 11):

1. PERMITTEES MUST ENSURE A TRAINED PERSON, AS IDENTIFIED IN ITEM 21.2.B, WILL INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 1/2 INCH IN 24 HOURS.
2. PERMITTEES MUST INSPECT AND MAINTAIN ALL PERMANENT STORMWATER TREATMENT BMP'S.
3. PERMITTEES MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S AND POLLUTION PREVENTION MANAGEMENT MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL NONFUNCTIONAL BMP'S WITH FUNCTIONAL BMP'S BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY UNLESS ANOTHER TIME FRAME IS SPECIFIED IN ITEM 11.5 OR 11.6. PERMITTEES MAY TAKE ADDITIONAL TIME IF FIELD CONDITIONS PREVENT ACCESS TO THE AREA.
4. DURING EACH INSPECTION, PERMITTEES MUST INSPECT SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS BUT NOT CURB AND GUTTER SYSTEMS, FOR EVIDENCE OF EROSION AND SEDIMENT DEPOSITION. PERMITTEES MUST REPAIR, REPLACE, OR SUPPLEMENT ALL SURFACE WATERS AND SEDIMENT DEPOSITED IN DRAINWAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS AND RESTABILIZE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. PERMITTEES MUST COMPLETE REMOVAL AND STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. PERMITTEES MUST USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF OBTAINING ACCESS. PERMITTEES ARE RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK IN SURFACE WATERS.
5. PERMITTEES MUST INSPECT CONSTRUCTION SITE VEHICLE EXIT LOCATIONS, STREETS AND CURB AND GUTTER SYSTEMS WITHIN AND ADJACENT TO THE PROJECT FOR SEDIMENTATION FROM EROSION OR TRACKED SEDIMENT FROM VEHICLES. PERMITTEES MUST REMOVE SEDIMENT FROM ALL PAVED SURFACES WITHIN ONE (1) CALENDAR DAY OF DISCOVERY OR, IF APPLICABLE, WITHIN A SHORTER TIME TO AVOID A SAFETY HAZARD TO USERS OF PUBLIC STREETS.
6. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL PERIMETER CONTROL DEVICES WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE DEVICE.
7. PERMITTEES MUST DRAIN TEMPORARY AND PERMANENT SEDIMENTATION BASINS AND REMOVE THE SEDIMENT WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME.
8. PERMITTEES MUST ENSURE THAT AT LEAST ONE INDIVIDUAL PRESENT ON THE SITE (OR AVAILABLE TO THE PROJECT SITE IN THREE (3) CALENDAR DAYS) IS TRAINED IN THE JOB DUTIES DESCRIBED IN ITEM 21.2.B.
9. PERMITTEES MAY ADJUST THE INSPECTION SCHEDULE DESCRIBED IN ITEM 11.2 AS FOLLOWS:
  - a. INSPECTIONS OF AREAS WITH PERMANENT COVER CAN BE REDUCED TO ONCE PER MONTH, EVEN IF CONSTRUCTION ACTIVITY CONTINUES ON OTHER PORTIONS OF THE SITE; OR
  - b. WHERE SITES HAVE PERMANENT COVER ON ALL EXPOSED SOIL AND NO CONSTRUCTION ACTIVITY IS OCCURRING ANYWHERE ON THE SITE, INSPECTIONS CAN BE REDUCED TO ONCE PER MONTH AND, AFTER 12 MONTHS, MAY BE SUSPENDED COMPLETELY UNTIL CO CONSTRUCTION ACTIVITY RESUMES. THE MPCA MAY REQUIRE INSPECTIONS TO RESUME IF CONDITIONS WARRANT; OR
  - c. WHERE CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED DUE TO FROZEN GROUND CONDITIONS, INSPECTIONS MAY BE SUSPENDED. INSPECTIONS MUST RESUME WITHIN 24 HOURS OF RUNOFF OCCURRING, OR UPON RESUMING CONSTRUCTION, WHICHEVER COMES FIRST.
10. PERMITTEES MUST RECORD ALL INSPECTIONS AND MAINTENANCE ACTIVITIES WITHIN 24 HOURS OF BEING CONDUCTED AND THESE RECORDS MUST BE RETAINED WITH THE SWPPP. THESE RECORDS MUST INCLUDE:
  - a. DATE AND TIME OF INSPECTIONS; AND
  - b. NAME OF PERSONS CONDUCTING INSPECTIONS; AND
  - c. ACCURATE FINDINGS OF INSPECTIONS, INCLUDING THE SPECIFIC LOCATION WHERE CORRECTIVE ACTIONS ARE NEEDED; AND
  - d. CORRECTIVE ACTIONS TAKEN (INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES); AND
  - e. DATE OF ALL RAINFALL EVENTS GREATER THAN 1/2 INCHES IN 24 HOURS, AND THE AMOUNT OF RAINFALL FOR EACH EVENT. PERMITTEES MUST OBTAIN RAINFALL AMOUNTS BY EITHER A PROPERLY MAINTAINED RAIN GAUGE INSTALLED ON-SITE, A WEATHER STATION THAT IS WITHIN ONE (1) MILE OF YOUR LOCATION, OR A WEATHER REPORTING SYSTEM THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM RADAR SUMMARIES; AND
  - f. IF PERMITTEES OBSERVE A DISCHARGE DURING THE INSPECTION, THEY MUST RECORD AND SHOULD PHOTOGRAPH AND DESCRIBE THE LOCATION OF THE DISCHARGE (I.E. COLOR, ODOR, SETTLED OR SUSPENDED SOLIDS, OIL SHEEN, AND OTHER OBVIOUS INDICATORS OF POLLUTANTS); AND
  - g. ANY AMENDMENTS TO THE SWPPP PROPOSED AS A RESULT OF THE INSPECTION MUST BE DOCUMENTED AS REQUIRED IN SECTION 6 WITHIN SEVEN (7) CALENDAR DAYS.

### POLLUTION PREVENTION MANAGEMENT (SECTION 12):

1. PERMITTEES MUST PLACE BUILDING PRODUCTS AND LANDSCAPE MATERIALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. PERMITTEES ARE NOT REQUIRED TO COVER OR PROTECT PRODUCTS WHICH ARE EITHER NOT A SOURCE OF CONTAMINATION TO STORMWATER OR ARE DESIGNED TO BE EXPOSED TO STORMWATER.
2. PERMITTEES MUST PLACE PESTICIDES, FERTILIZERS AND TREATMENT CHEMICALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
3. PERMITTEES MUST STORE HAZARDOUS MATERIALS AND TOXIC WASTE, (INCLUDING OIL, DIESEL, FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE.
4. PERMITTEES MUST PROPERLY STORE, COLLECT AND DISPOSE SOLID WASTE IN COMPLIANCE WITH MINN. R. CH. 7035.
5. PERMITTEES MUST POSITION PORTABLE TOILETS SO THEY ARE SECURE AND WILL NOT TIP OR BE KNOCKED OVER. PERMITTEES MUST PROPERLY DISPOSE SANITARY WASTE IN ACCORDANCE WITH MINN. R. CH. 7041.
6. PERMITTEES MUST TAKE REASONABLE STEPS TO PREVENT THE DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED INCLUDING THE USE OF DRIP PANS OR ABSORBENTS UNLESS INFEASIBLE. PERMITTEES MUST ENSURE ADEQUATE SUPPLIES ARE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD IS AVAILABLE FOR RECOVERED SPILLED MATERIALS. PERMITTEES MUST REPORT AND CLEAN UP SPILLS IMMEDIATELY AS REQUIRED BY MINN. STAT. 115.061, USING DRY CLEAN UP MEASURES WHERE POSSIBLE.
7. PERMITTEES MUST LIMIT VEHICLE EXTERIOR WASHING AND EQUIPMENT TO A DEFINED AREA OF THE SITE. PERMITTEES MUST CONTAIN RUNOFF FROM THE WASHING AREA IN A SEDIMENT BASIN OR OTHER SIMILARLY EFFECTIVE CONTROLS AND MUST DISPOSE WASTE FROM THE WASHING ACTIVITY PROPERLY. PERMITTEES MUST PROPERLY USE AND STORE SOAPS, DETERGENTS, OR SOLVENTS.
8. PERMITTEES MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (E.G., CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS) RELATED TO THE CONSTRUCTION ACTIVITY. PERMITTEES MUST PREVENT LIQUID AND SOLID WASHOUT WASTES FROM CONTACTING THE GROUND AND THE CONTAINMENT SO IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. PERMITTEES MUST PROPERLY DISPOSE LIQUID AND SOLID WASTES IN COMPLIANCE WITH MPCA RULES. PERMITTEES MUST INSTALL A SIGN INDICATING THE LOCATION OF THE WASHOUT FACILITY.

### PERMIT TERMINATION (SECTION 4 AND SECTION 13):

1. PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ALL TERMINATION CONDITIONS LISTED IN SECTION 13 ARE COMPLETE.
2. PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER SELLING OR OTHERWISE LEGALLY TRANSFERRING THE ENTIRE SITE, INCLUDING PERMIT RESPONSIBILITY FOR ROADS (E.G., STREET SWEEPING) AND STORMWATER INFRASTRUCTURE (FINAL CLEAN OUT, OR TRANSFERRING PORTIONS OF A SITE TO ANOTHER PARTY). THE PERMITTEES COVERAGE UNDER THIS PERMIT TERMINATES AT MIDNIGHT ON THE SUBMISSION DATE OF THE NOT.
3. PERMITTEES MUST COMPLETE ALL CONSTRUCTION ACTIVITY AND MUST INSTALL PERMANENT COVER OVER ALL AREAS PRIOR TO SUBMITTING THE NOT. VEGETATIVE COVER MUST CONSIST OF A UNIFORM PERENNIAL VEGETATION WITH A DENSITY OF 70 PERCENT OF ITS EXPECTED FULL GROWTH. VEGETATION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES NO VEGETATION, SUCH AS IMPERVIOUS SURFACES OR THE BASE OF A SAND FILTER.
4. PERMITTEES MUST CLEAN THE PERMANENT STORMWATER TREATMENT SYSTEM OF ANY ACCUMULATED SEDIMENT AND MUST ENSURE THE SYSTEM MEETS ALL APPLICABLE REQUIREMENTS IN SECTION 15 THROUGH 19 AND IS OPERATING AS DESIGNED.
5. PERMITTEES MUST REMOVE ALL SEDIMENT FROM CONVEYANCE SYSTEMS PRIOR TO SUBMITTING THE NOT.
6. PERMITTEES MUST REMOVE ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMP'S PRIOR TO SUBMITTING THE NOT. PERMITTEES MAY LEAVE BMP'S DESIGNED TO DECOMPOSE ON-SITE IN PLACE.
7. FOR RESIDENTIAL CONSTRUCTION ONLY, PERMIT COVERAGE TERMINATES ON INDIVIDUAL LOTS IF THE STRUCTURES ARE FINISHED AND TEMPORARY EROSION PREVENTION AND DOWNGRADEMENT PERIMETER CONTROL IS COMPLETE, THE RESIDENCE SELLS TO THE HOMEOWNER, AND THE PERMITTEE DISTRIBUTES THE MPCA'S "HOMEOWNER FACT SHEET" TO THE HOMEOWNER.
8. FOR CONSTRUCTION PROJECTS ON AGRICULTURAL LAND (E.G., PIPELINES ACROSS CROPLAND), PERMITTEES MUST RETURN THE DISTURBED LAND TO ITS PRECONSTRUCTION AGRICULTURAL USE PRIOR TO SUBMITTING THE NOT.

### SEED NOTES:

ALL SEED MIXES AND APPLICATION SHALL BE IN ACCORDANCE WITH THE MNDOT SEEDING MANUAL.

### GENERAL RECOMMENDATIONS:

- THE CONTRACTOR IS RESPONSIBLE TO SALVAGE AND PRESERVE EXISTING TOPSOIL NECESSARY FOR FINAL STABILIZATION AND TO ALSO MINIMIZE COMPACTION IN ALL LANDSCAPE AREAS. IMMEDIATELY BEFORE SEEDING THE SOIL SHALL BE TILLED TO A MINIMUM DEPTH OF 3 INCHES.

### TEMPORARY EROSION CONTROL SEEDING, MULCHING & BLANKET.

#### SEED

- TEMPORARY SEED SHALL BE MNDOT SEED MIX 21-112 (WINTER WHEAT COVER CROP) FOR WINTER AND 21-111 (OATS COVER CROP) FOR SPRING/SUMMER APPLICATIONS. BOTH SEED MIXES SHALL BE APPLIED AT A SEEDING RATE OF 100 LBS/ACRE.

#### MULCH

- IMMEDIATELY AFTER SEEDING, WITHIN 24 HOURS, MNDOT TYPE 1 MULCH SHOULD BE APPLIED TO PROTECT AND ENHANCE SEED GERMINATION. MULCH SHALL BE APPLIED AT 90% COVERAGE (2 TONS PER ACRE OF STRAW MULCH)
- #### SLOPES
- 31 (HORIZ/VERT.) OR FLATTER MUCH SHALL BE COVERED WITH MULCH
  - SLOPES STEEPER THAN 3:1 OR DITCH BOTTOMS SHALL BE COVERED WITH EROSION CONTROL BLANKET.
  - SEE PLAN FOR MORE DETAILED DITCH AND STEEP SLOPE EROSION CONTROL TREATMENTS.

### TRAINING SECTION 21

DESIGN ENGINEER: MATTHEW R. PAVEK P.E.

TRAINING COURSE: DESIGN OF SWPPP

TRAINING ENTITY: UNIVERSITY OF MINNESOTA

INSTRUCTOR: JOHN CHAPMAN

DATES OF TRAINING COURSE: 5/15/2011 - 5/16/2011

TOTAL TRAINING HOURS: 12

RE-CERTIFICATION: 2/27/2020 (8 HOURS), EXP. 5/31/2023

## OWNER INFORMATION

### OWNER:

JWT LAKE ST. LLC

2400 BLAISDELL AVE.

MINNEAPOLIS, MN 55404

## AREAS AND QUANTITIES:

| SITE AREA CALCULATIONS |          |        |          |        |
|------------------------|----------|--------|----------|--------|
|                        | EXISTING |        | PROPOSED |        |
| BUILDING COVERAGE      | 2,265 SF | 41.7%  | 3,319 SF | 61.0%  |
| ALL PAVEMENTS          | 2,660 SF | 48.9%  | 1,653 SF | 30.4%  |
| ALL NON-PAVEMENTS      | 512 SF   | 9.4%   | 465 SF   | 8.6%   |
| TOTAL SITE AREA        | 5,437 SF | 100.0% | 5,437 SF | 100.0% |

| IMPERVIOUS SURFACE        |          |       |  |
|---------------------------|----------|-------|--|
| EXISTING CONDITION        | 4,925 SF | 90.6% |  |
| PROPOSED CONDITION        | 4,972 SF | 91.4% |  |
| DIFFERENCE (EX. VS PROP.) | 47 SF    | 0.9%  |  |
| IMPERVIOUS TOTAL          | 4,972 SF | 91.4% |  |

| EROSION CONTROL QUANTITIES |          |
|----------------------------|----------|
| DISTURBED AREA             | 7,539 SF |
| SILT FENCE/BIO-ROLL        | 386 LF   |
| EROSION CONTROL BLANKET    | 0 SF     |
| INLET PROTECTION DEVICES   | 0± EA    |

NOTE: QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL DETERMINE FOR THEMSELVES THE EXACT QUANTITIES FOR BIDDING AND CONSTRUCTION.

## SWPPP CONTACT PERSON

### CONTRACTOR:

### SWPPP INSPECTOR TRAINING:

ALL SWPPP INSPECTIONS MUST BE PERFORMED BY A PERSON THAT MEETS THE TRAINING REQUIREMENTS OF THE NPDES CONSTRUCTION SITE PERMIT. TRAINING CREDENTIALS SHALL BE PROVIDED BY THE CONTRACTOR AND KEPT ON SITE WITH THE SWPPP

## PARTY RESPONSIBLE FOR LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORM WATER MANAGEMENT SYSTEM

PERMANENT STORMWATER MANAGEMENT IS NOT REQUIRED AS PART OF THIS PROJECT TO MEET NPDES PERMIT REQUIREMENTS. THE PROPERTY OWNER IS RESPONSIBLE FOR THE LONG TERM OPERATION AND MAINTENANCE OF THE PROPOSED STORMWATER SYSTEM.

### SWPPP ATTACHMENTS (ONLY APPLICABLE IF SITE IS 1 ACRE OR GREATER):

CONTRACTOR SHALL OBTAIN A COPY OF THE FOLLOWING SWPPP ATTACHMENTS WHICH ARE A PART OF THE OVERALL SWPPP PACKAGE:

ATTACHMENT A: CONSTRUCTION SWPPP TEMPLATE - SITE SPECIFIC SWPPP DOCUMENT

ATTACHMENT B: CONSTRUCTION STORMWATER INSPECTION CHECKLIST

ATTACHMENT C: MAINTENANCE PLAN FOR PERMANENT STORM WATER TREATMENT SYSTEMS

ATTACHMENT D: STORMWATER MANAGEMENT REPORT - ON FILE AT THE OFFICE OF PROJECT ENGINEER, AVAILABLE UPON REQUEST.

ATTACHMENT E: GEOTECHNICAL EVALUATION REPORT - ON FILE AT THE OFFICE OF PROJECT ENGINEER, AVAILABLE UPON REQUEST.

## SUPPLEMENTAL SITE SPECIFIC EROSION CONTROL NOTES:

THESE NOTES SUPERCEDE ANY GENERAL SWPPP NOTES.

THIS PROJECT IS LESS THAN 1.0 ACRES SO AN NPDES PERMIT IS NOT REQUIRED.

### PROJECT NARRATIVE:

PROJECT IS A REDEVELOPMENT OF AN EXISTING SINGLE STORY COMMERCIAL BUILDING INTO A TWO STORY RESIDENTIAL BUILDING. SITE AND LANDSCAPE IMPROVEMENTS WILL OCCUR.

### NATIVE BUFFER NARRATIVE:

PRESERVING A 50' NATURAL BUFFER AROUND WATER BODIES IS NOT REQUIRED AS PART OF THIS PROJECT BECAUSE WATER BODIES ARE NOT LOCATED ON SITE.

### INFILTRATION NARRATIVE:

INFILTRATION IS NOT REQUIRED AS PART OF THE PROJECT BECAUSE PERMANENT STORM WATER MANAGEMENT IS NOT REQUIRED.

### SOIL CONTAMINATION NARRATIVE:

SOILS ONSITE HAVE NOT BEEN IDENTIFIED AS CONTAMINATED. AN MPCA SOILS ASSESSMENT WAS COMPLETED AND IT WAS DETERMINED THAT THIS SITE IS APPROPRIATE FOR INFILTRATION.

### SPECIAL TMDL BMP REQUIREMENTS SITE SPECIFIC (IF REQUIRED):

THIS PROJECT IS NOT WITHIN ONE MILE OF A WATER BODY AND DOES NOT DIRECTLY DISCHARGES TO ANY NEAR BY WATER BODIES.

### PERMANENT STABILIZATION NOTES SITE SPECIFIC:

#### PERMANENT SEED MIX



| Schedule |       |       |     |                     |                       |  |              |                           |                 |                |     |   |
|----------|-------|-------|-----|---------------------|-----------------------|--|--------------|---------------------------|-----------------|----------------|-----|---|
| Symbol   | Label | Image | QTY | Manufacturer        | Catalog Number        | Description  | Number Lamps | Filename                  | Lumens per Lamp | Lumen Multiple | LLF | Wattage                                   |
|          | AA2   |       | 1   | Luminis Canada Inc. | BVA21-L1L40-TYP4      | Bellevue Area Amber  | 1            | BVA21-L1L40-TYP4.ies      | 3775            | 1              | 0.9 | 67.4                                      |
|          | W     |       | 6   | Lithonia Lighting   | WPX1 LED P2 40K Mvolt | WPX1 LED wallpack 3000lm 4000K color temperature 120-277 Volts | 1            | WPX1_LED_P2_40K_Mvolt.ies | 2913            | 1              | 0.9 | 24.42                                     |
|          |       |       |     |                     |                       |  |              |                           |                 |                |     | Efficiency                                |
|          |       |       |     |                     |                       |  |              |                           |                 |                |     | Distribut ion                             |
|          |       |       |     |                     |                       |  |              |                           |                 |                |     | TYPE IV                                   |
|          |       |       |     |                     |                       |  |              |                           |                 |                |     | TYPE III, SHORT, BUG RATING: B1 - U0 - G1 |

| Statistics         |        |        |        |        |         |         |
|--------------------|--------|--------|--------|--------|---------|---------|
| Description        | Symbol | Avg    | Max    | Min    | Max/Min | Avg/Min |
| Total Area @ Grade | +      | 0.6 ft | 8.8 ft | 0.0 ft | N/A     | N/A     |

- Note**
- Davis and Associates, Inc does not assume responsibility for the interpretation of this calculation, or compliance to local or state lighting codes and ordinances.
  - All readings/calculations are shown @ grade.
  - Fixture heights are shown on plan.

### BVA21/BVA31/BVA32 SERIES

Bellevue - LED POLE MOUNT

TYPE: \_\_\_\_\_ QUANTITY: \_\_\_\_\_ PROJECT: \_\_\_\_\_

| CATALOG NUMBER | MODEL | LED LIGHT SELECTION | POLE | VOLTAGE | FINISH | OPTION | OPTION | OPTION |
|----------------|-------|---------------------|------|---------|--------|--------|--------|--------|
|                |       |                     |      |         |        |        |        |        |

1- Front cover constructed of corrosion resistant cast aluminum.  
2- 4.5" (114mm) x 6" (152mm) Extruded aluminum optical chamber.  
3- Modular LED boards with acrylic optics. 30 or 60 LEDs configurations available.  
4- Clear tempered glass.  
5- Heavy gauge steel mounting plate with leveling adjustment (5° total). Head mounting height can be customized upon request (contact factory).  
6- 6" (152mm) x 6" (152mm) 6061-T6 aluminum pole. 0.25" wall thickness. All stainless steel hardware.

DL Module

**MATERIALS**

Bellevue is made of 6063-T6 extruded aluminum alloy. Cast parts are made of corrosion resistant 356 aluminum alloy with a copper (Cu) content of less than 0.1%.

LED board is assembled on a thick extruded aluminum profile and protected by a clear tempered glass. The acrylic optics provide a wide range of roadway optics. The driver is mounted either in the pole access door (Single Head Configuration) or in the pole top cap (P2, P2B, P5, P4) for ease of maintenance.

**ELECTRICAL DRIVER**

Standard driver is 120-277V multi-volt compatibility (50-60Hz), 0-10V dimming-ready (dims to 10%), Optional 347/480V, operating temperatures of -40°C/-40°F to 55°C/131°F, output over voltage protection, output over current protection, output short circuit protection with auto-recovery.

**LED**

Type II, II, IV or V light distribution via high performance optical lenses. Offered in 2700K, 3000K, 3500K, 4000K. See the CCT options for details. Optional true amber LED for turtle sensitive areas. Wavelength: 584.5nm to 597nm.

**LIFETIME**

60,000hrs L70/B70 (based on LM-80 report for lumen maintenance).

**FINISH**

Five-stage preparation process includes pretreating of cast aluminum parts for air extraction. Polyester powder coating is applied through an electrostatic process, and oven cured for long term finish.

**CERTIFICATION**

Tested to UL598 and CSA 22.2 4250, ETL listed wet location.

Photometric testing performed by an independent laboratory in accordance with IES LM-79-08 standards at 25°C. Lumen depreciation in accordance with IES LM-80 standards. Rated IP65.

**MOUNTING**

Maximum weight: 26 lbs (9.5 kg).  
Bellevue is designed for ease of access and installation.  
The head is secured on the pole by a set of (4) 5/16-18 bolts.  
The cast aluminum base plate is secured with a set of (4) 3/4-10 x 18" lg. galvanized anchor bolts. Accessibility is done through a flush mount 3" x 10" (76 x 254) hand hole cover plate. See page 4 for pole base mounting details.

**Ordering Information**

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

| Letter      | Letter            | Letter | Letter | Letter | Letter      |
|-------------|-------------------|--------|--------|--------|-------------|
| WPX1 LED P1 | 1,500 Lumens, 10W | 30K    | 3000K  | 40VOLT | 120V - 277V |
| WPX1 LED P2 | 2,000 Lumens, 20W | 40K    | 4000K  | 347    | 347V        |
| WPX2 LED    | 3,000 Lumens, 47W | 30K    | 3000K  |        |             |
| WPX3 LED    | 3,700 Lumens, 60W |        |        |        |             |

**Notes:**

The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

**INTENDED USE**

The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the area lighting requirements of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 450W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution.

**CONSTRUCTION**

WPX features a die-cast aluminum main body with optional thermal management that both enhances LED efficiency and extends component life. The luminaires are IP66 rated, and sealed, against moisture and environmental contaminants.

**ELECTRICAL**

Light engine configurations consist of high-efficiency LEDs and LED lumen maintenance of 100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with maximum CRI of 90. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 60V surge protection. Note: WPX1 LED P1 package comes with a standard surge protection rating of 25kA-ft can be reduced with an optional 60V surge protection.

All photometric data is based on MVDOT 120V - 277V input.

Note: The standard WPX LED wall pack luminaires come with built-in adjustable drive current features. The feature allows tuning the output current of the LED drivers to adjust the lumen output to dim the luminaires.

**INSTALLATION**

WPX can be mounted directly onto a standard electrical junction box. Three 1/2" size conduit ports for the area lighting requirements of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 450W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution.

**LISTINGS**

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations (IP66 Rated). DesignLight's Concanum® LED2 qualified product. Not all versions of the product may be ETL qualified. Please check the ETL Qualified Products List at [www.ets.com](http://www.ets.com) for details. In addition, which version are qualified International Dark Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all production of the designating WPX luminaires.

**WARRANTY**

5-year limited warranty. Complete warranty terms located at: [www.davisandassociates.com](http://www.davisandassociates.com)

Note: Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

**FEATURES & SPECIFICATIONS**

**INTENDED USE**

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Light engine configurations consist of high-efficiency LEDs and LED lumen maintenance of 100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with maximum CRI of 90. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 60V surge protection. Note: WPX1 LED P1 package comes with a standard surge protection rating of 25kA-ft can be reduced with an optional 60V surge protection.

All photometric data is based on MVDOT 120V - 277V input.

Note: The standard WPX LED wall pack luminaires come with built-in adjustable drive current features. The feature allows tuning the output current of the LED drivers to adjust the lumen output to dim the luminaires.

**INSTALLATION**

WPX can be mounted directly onto a standard electrical junction box. Three 1/2" size conduit ports for the area lighting requirements of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 450W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution.

**LISTINGS**

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations (IP66 Rated). DesignLight's Concanum® LED2 qualified product. Not all versions of the product may be ETL qualified. Please check the ETL Qualified Products List at [www.ets.com](http://www.ets.com) for details. In addition, which version are qualified International Dark Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all production of the designating WPX luminaires.

**WARRANTY**

5-year limited warranty. Complete warranty terms located at: [www.davisandassociates.com](http://www.davisandassociates.com)

Note: Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

**Ordering Information**

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

| Letter      | Letter            | Letter | Letter | Letter | Letter      |
|-------------|-------------------|--------|--------|--------|-------------|
| WPX1 LED P1 | 1,500 Lumens, 10W | 30K    | 3000K  | 40VOLT | 120V - 277V |
| WPX1 LED P2 | 2,000 Lumens, 20W | 40K    | 4000K  | 347    | 347V        |
| WPX2 LED    | 3,000 Lumens, 47W | 30K    | 3000K  |        |             |
| WPX3 LED    | 3,700 Lumens, 60W |        |        |        |             |

**Notes:**

The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

**INTENDED USE**

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**CONSTRUCTION**

WPX features a die-cast aluminum main body with optional thermal management that both enhances LED efficiency and extends component life. The luminaires are IP66 rated, and sealed, against moisture and environmental contaminants.

**ELECTRICAL**

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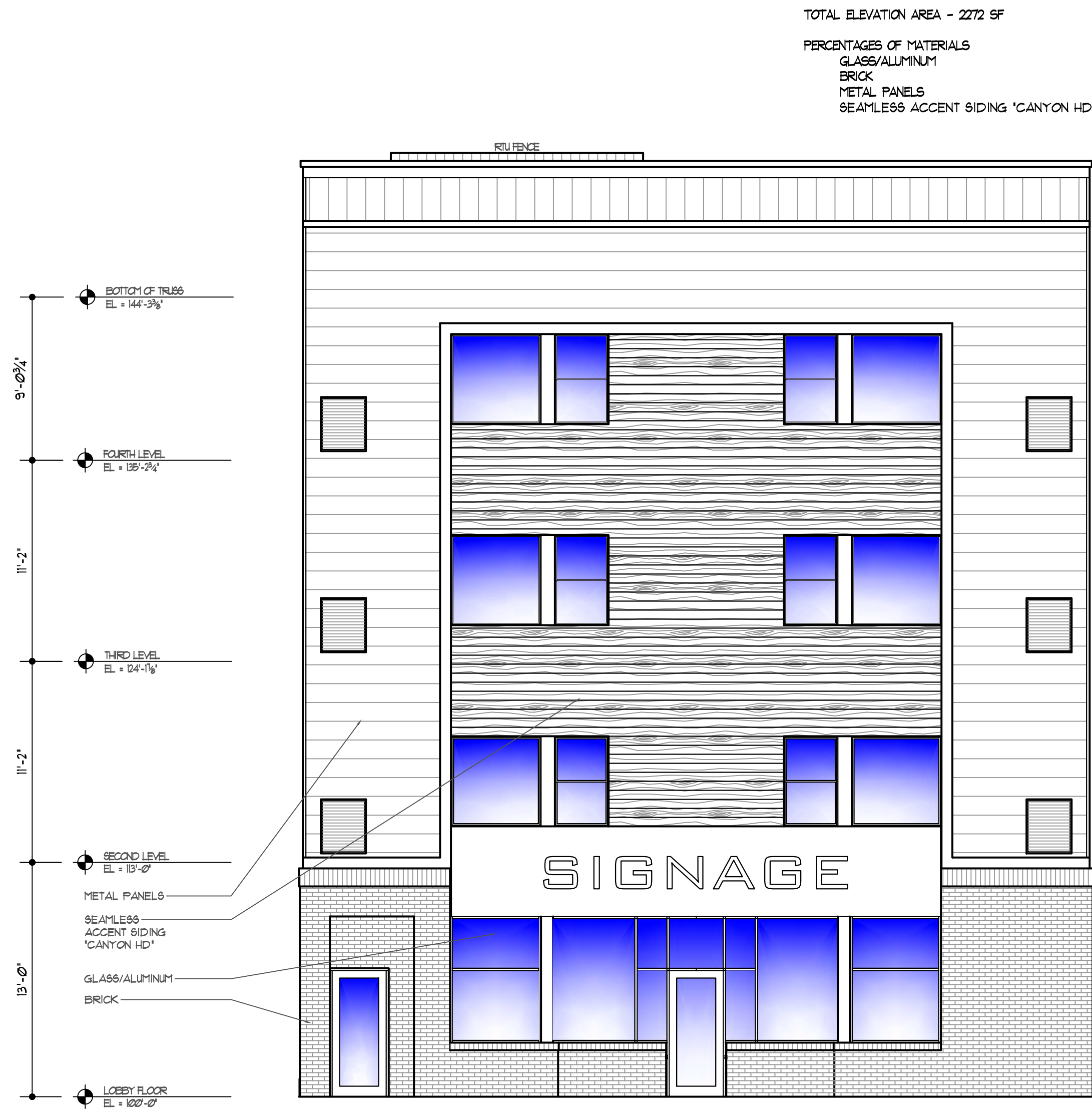
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|-------------|-------------------|--------|--------|--------|-------------|
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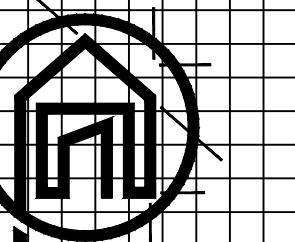
2 NORTH ELEVATION  
SCALE: 3/16"=1'-0" (LARGE FORMAT)



1 SOUTH ELEVATION  
SCALE: 3/16"=1'-0" (LARGE FORMAT)



DRAWN BY:



the design connection  
Residential and Commercial  
Design + Planning  
Serving Rochester and  
Southern Minnesota

1647 18th Ave. NW  
Rochester, MN 55901  
PHONE (507) 286-7889  
aaron@thedesignconnection.net  
www.thedesignconnection.net

112 LAKE ST  
MINNESOTA


PROJECT #: 20258  
DRAWN BY: CDB / JN  
CHECKED BY: MJB / CDB  
FINAL DATE:

PRINTED: Oct 20, 2020

NORTH & SOUTH  
ELEVATIONS

A1.1





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[www.thedesignconnection.net](http://www.thedesignconnection.net)

|             |           |
|-------------|-----------|
| PROJECT #:  | 20258     |
| DRAWN BY:   | CDB / IJN |
| CHECKED BY: | MJB / CDB |
| FINAL DATE: | .         |

EAST  
ELEVATIONS

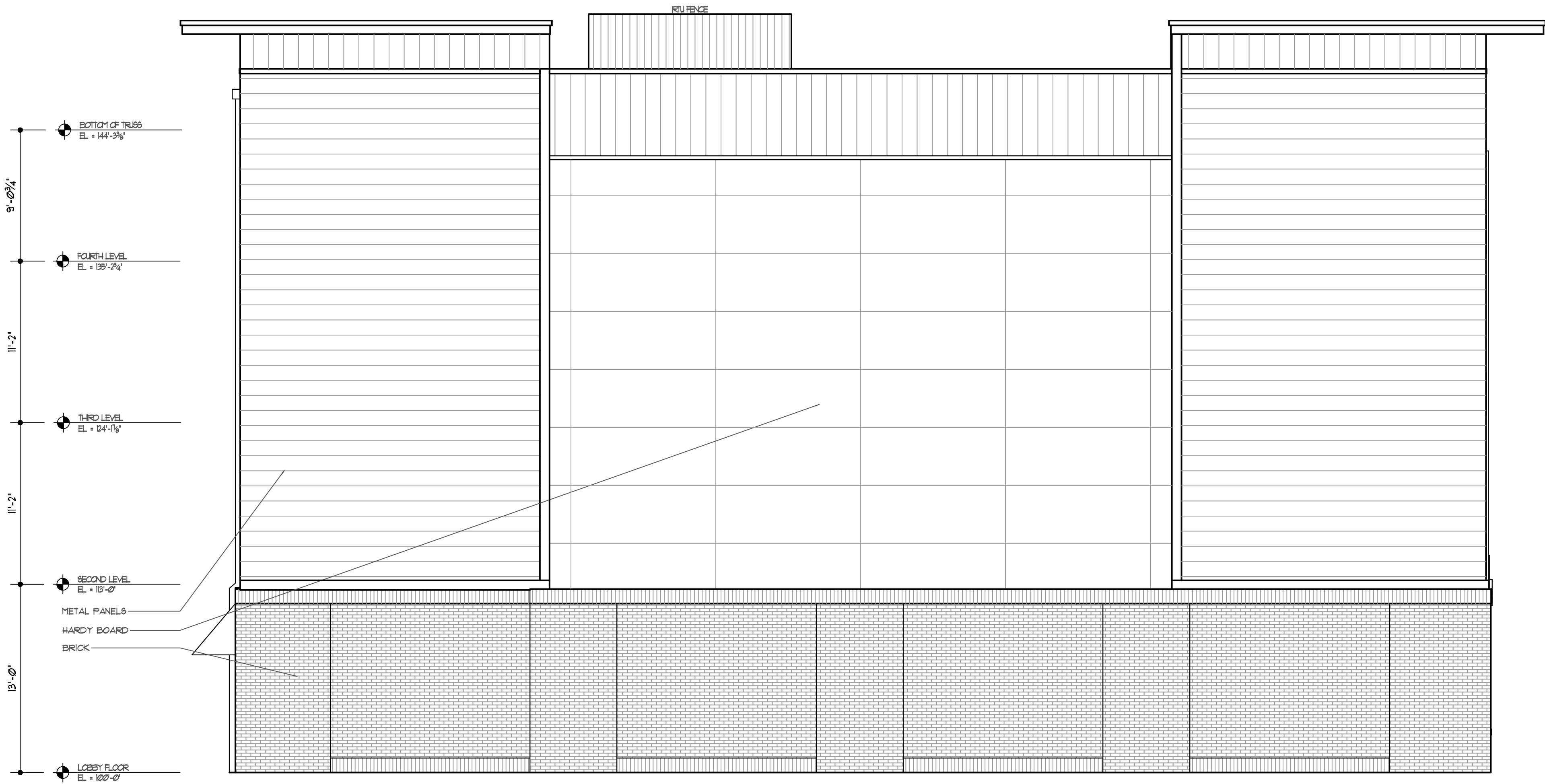
## A1.2

Architectural elevation drawing of the south side of a building. The drawing shows a multi-story structure with a brick base, metal panels, and wood siding. A central section features a vertical arrangement of windows. A small structure labeled "WOOD FENCE TRASH ENCLOSURE" is shown at the bottom right. A vertical dimension line on the left indicates heights: 9'-0 3/4" for the top section, 11'-2" for the middle section, and 13'-0" for the bottom section. Level markers on the left indicate: BOTTOM OF TRUSS (EL. = 144'-3 1/4"), FOURTH LEVEL (EL. = 155'-2 1/4"), THIRD LEVEL (EL. = 154'-1 1/4"), SECOND LEVEL (EL. = 15'-0"), and LOBBY FLOOR (EL. = 100'-0").

1 EAST ELEVATION  
SCALE: 3/16"=1'-0" (LARGE FORMAT)



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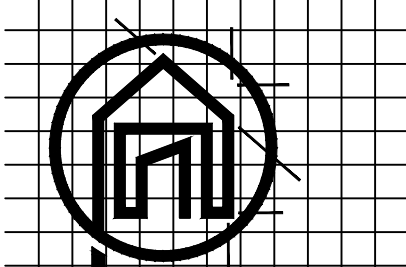


TOTAL ELEVATION AREA - 4343 SF  
PERCENTAGES OF MATERIALS  
BRICK - 25%  
METAL PANELS - 45%  
HARDY BOARD - 30%

1 WEST ELEVATION  
SCALE: 3/16"=1'-0" (LARGE FORMAT)



DRAWN BY:



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112 LAKE ST  
MINNESOTA

PROJECT #: 20258  
DRAWN BY: CDB / JIN  
CHECKED BY: MJB / CDB  
FINAL DATE: .

PRINTED: Oct 20, 2020

WEST  
ELEVATIONS

A1.3





METAL PANELS  
“MUSKET GRAY”



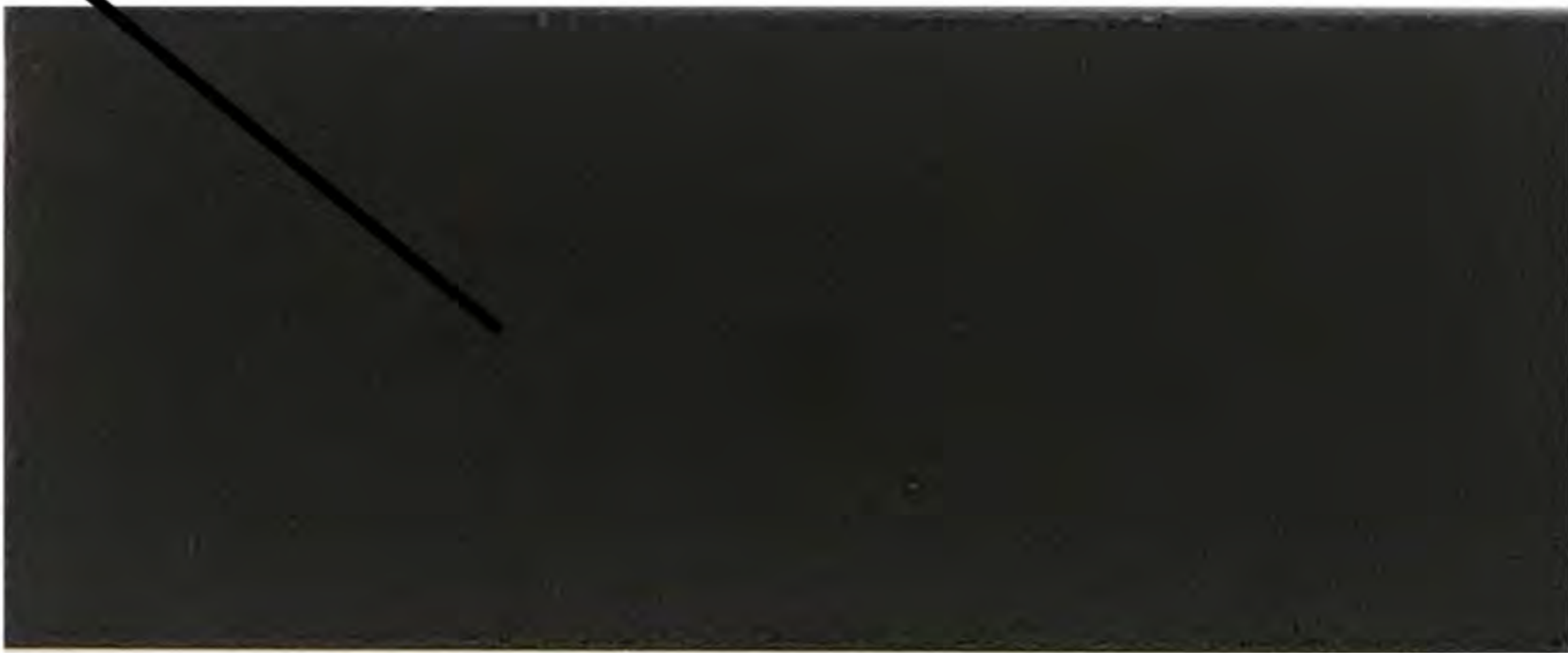
METAL PANELS  
“MERCURY ORE”



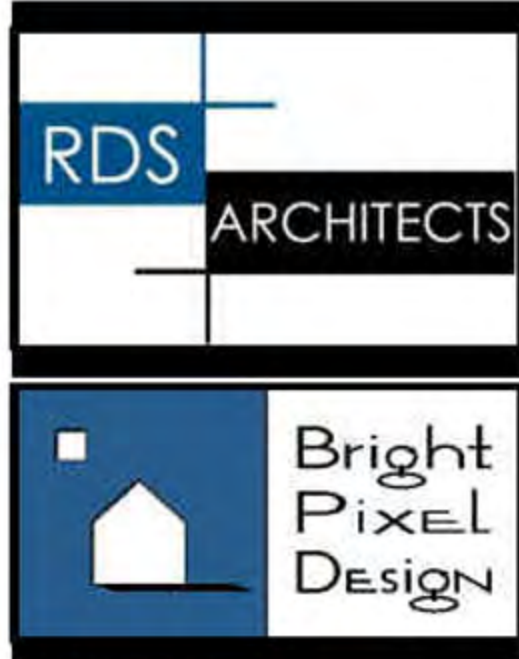
SIOUX CITY UTILITY BRICK  
“CHARCOAL GRAY VELOUR”



SEAMLESS ACCENT SIDING  
“CANYON HD”

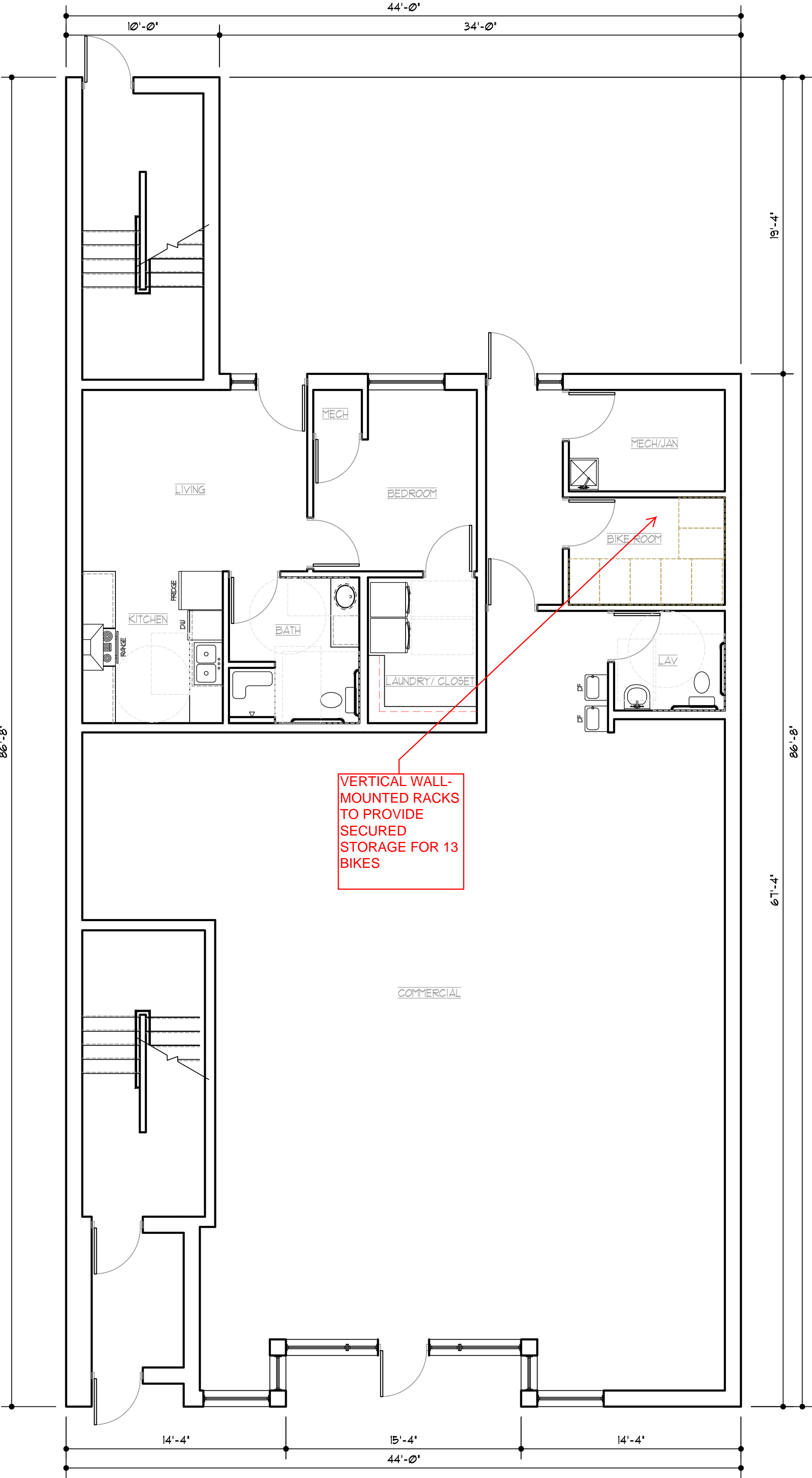


STOREFRONT AND WINDOW FRAMES  
“DARK BRONZE ALUMINUM”



|                    |              |
|--------------------|--------------|
| 112 LAKE ST        | MINNESOTA    |
| PROJECT #:         | 20238        |
| DRAWN BY:          | CDB / UN     |
| CHECKED BY:        | MIB / CDB    |
| FINAL DATE:        |              |
| PRINTED:           | Oct 09, 2020 |
| EXTERIOR MATERIALS |              |
| EX1.0              |              |

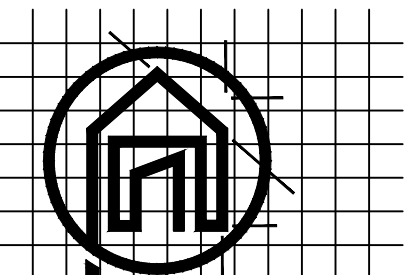




1 FIRST LEVEL 3096 SF  
SCALE: 3/16"=1'-0" (LARGE FORMAT)



DRAWN BY:



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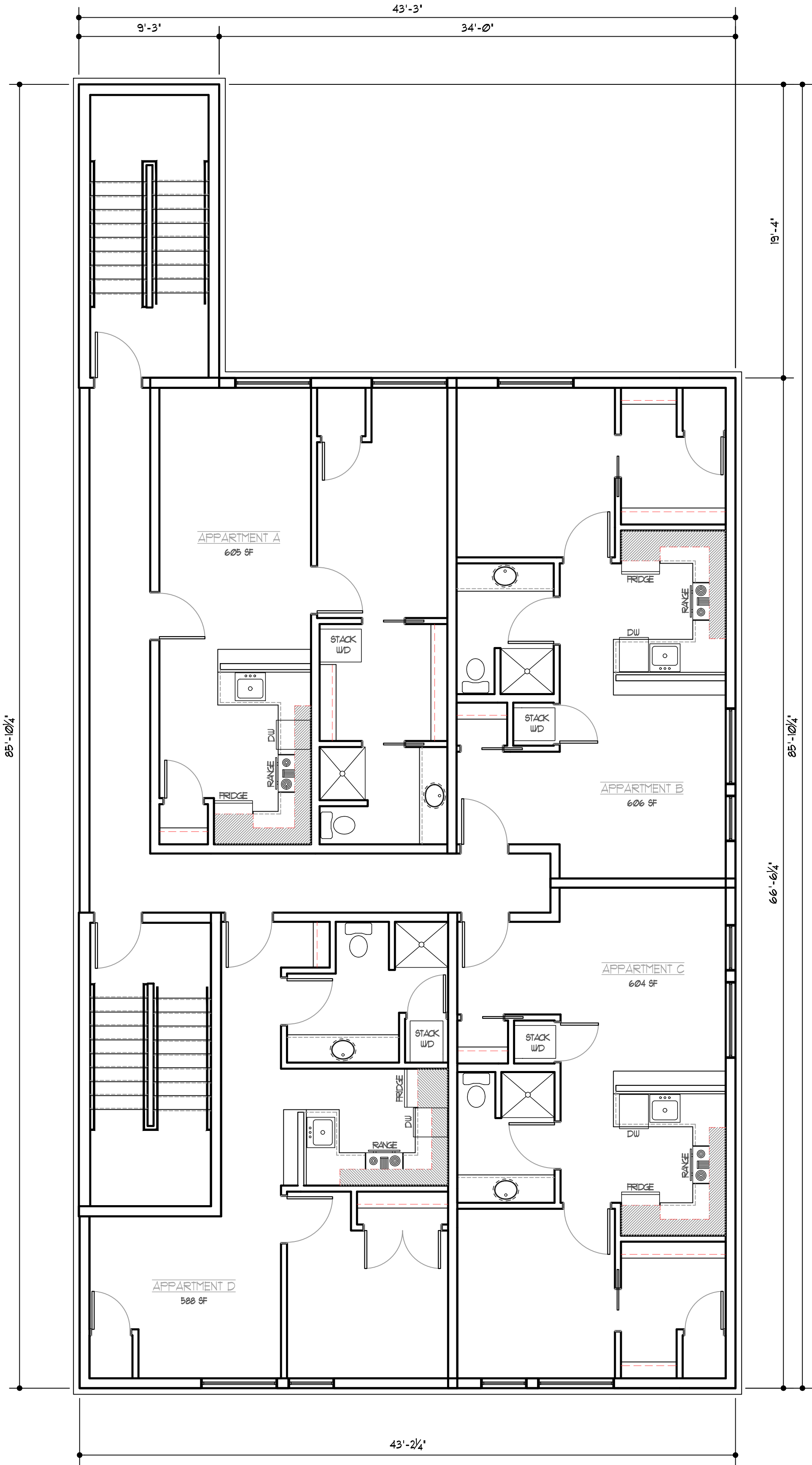
|             |           |
|-------------|-----------|
| PROJECT #:  | 20258     |
| DRAWN BY:   | CDB / JIN |
| CHECKED BY: | MJB / CDB |
| FINAL DATE: |           |

PRINTED: Oct 20, 2020

FIRST LEVEL  
FLOOR PLAN

A2.0

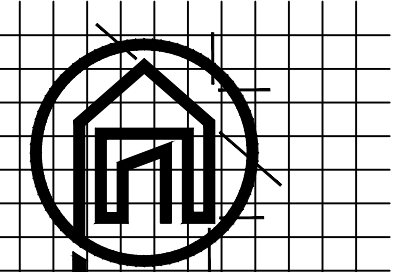




1 SECOND LEVEL 3053 SF  
SCALE: 3/16"=1'-0" (LARGE FORMAT)



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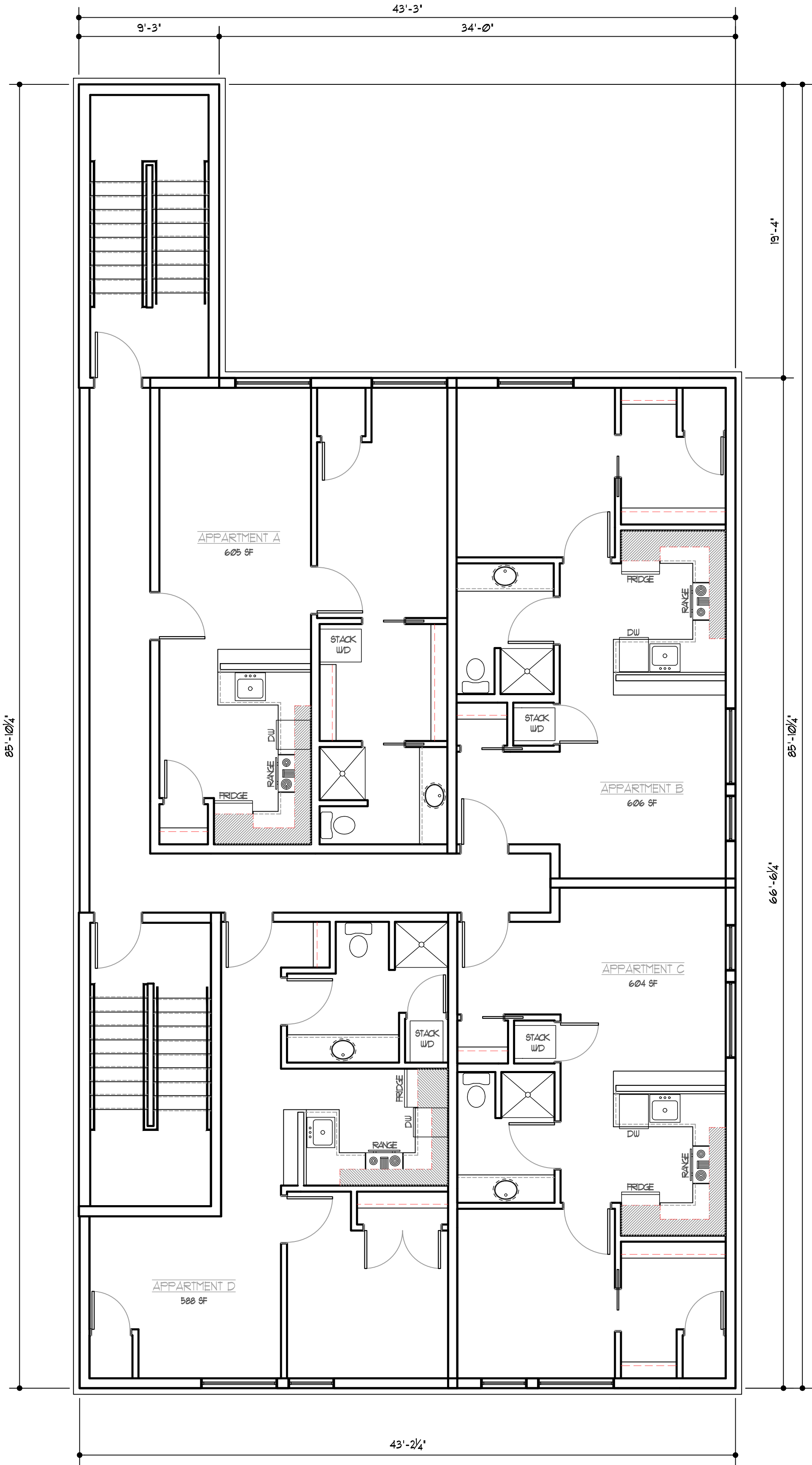
PROJECT #: 20258  
DRAWN BY: CDB / JIN  
CHECKED BY: MJB / CDB  
FINAL DATE: .

PRINTED: Oct 20, 2020

SECOND LEVEL  
FLOOR PLAN

A3.0

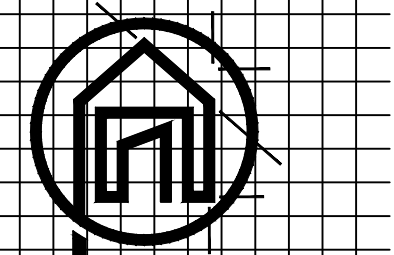




1 THIRD LEVEL 3053 SF  
SCALE: 3/16"=1'-0" (LARGE FORMAT)



DRAWN BY:



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112 LAKE ST  
MINNESOTA

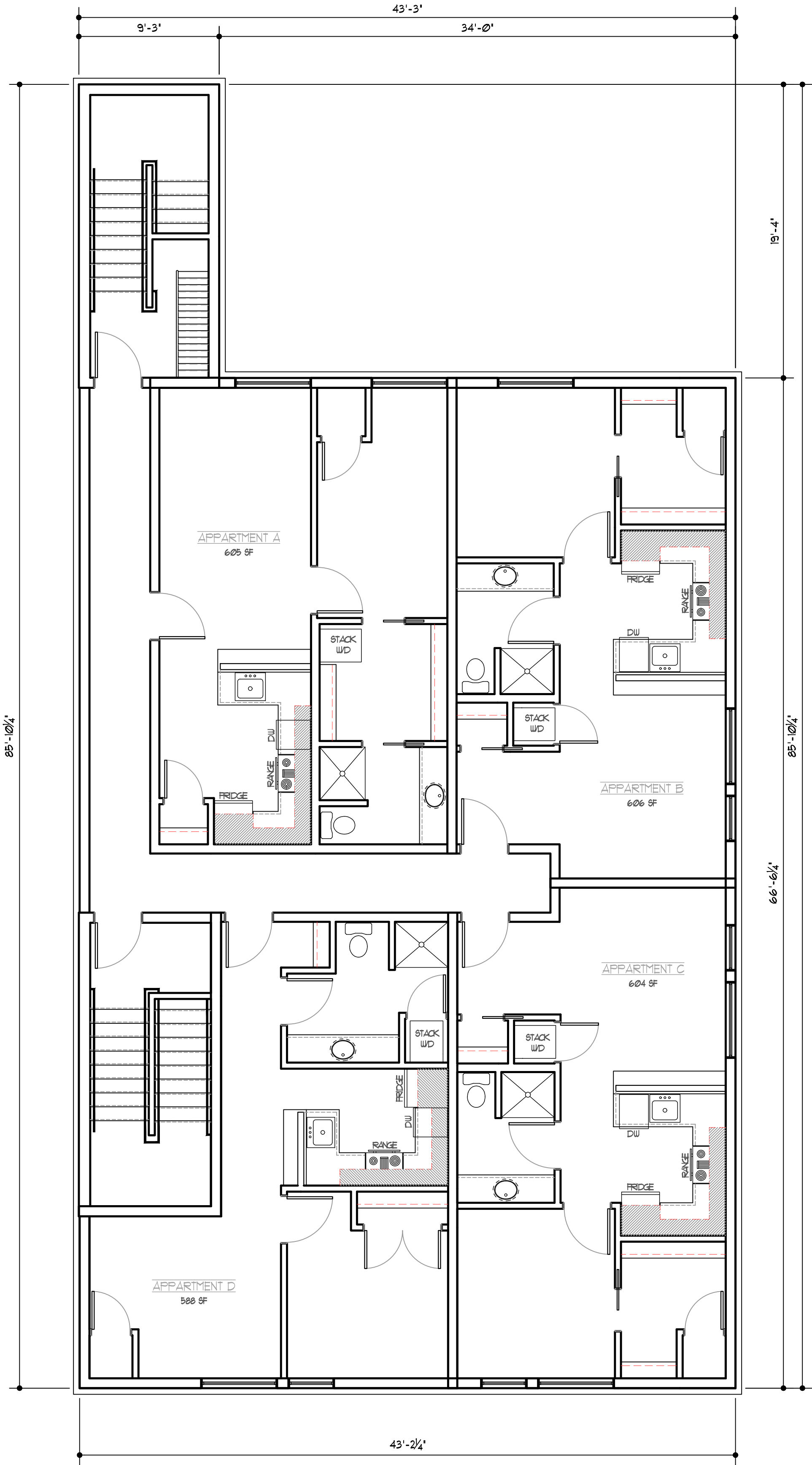
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CHECKED BY: MJB / CDB  
FINAL DATE: .

PRINTED: Oct 20, 2020

THIRD LEVEL  
FLOOR PLAN

A4.0

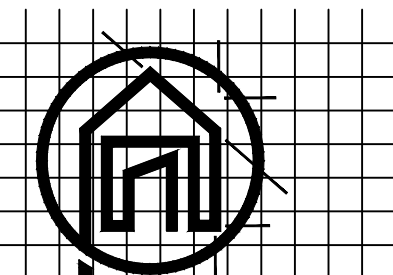




1 FOURTH LEVEL 3053 SF  
SCALE: 3/16"=1'-0" (LARGE FORMAT)



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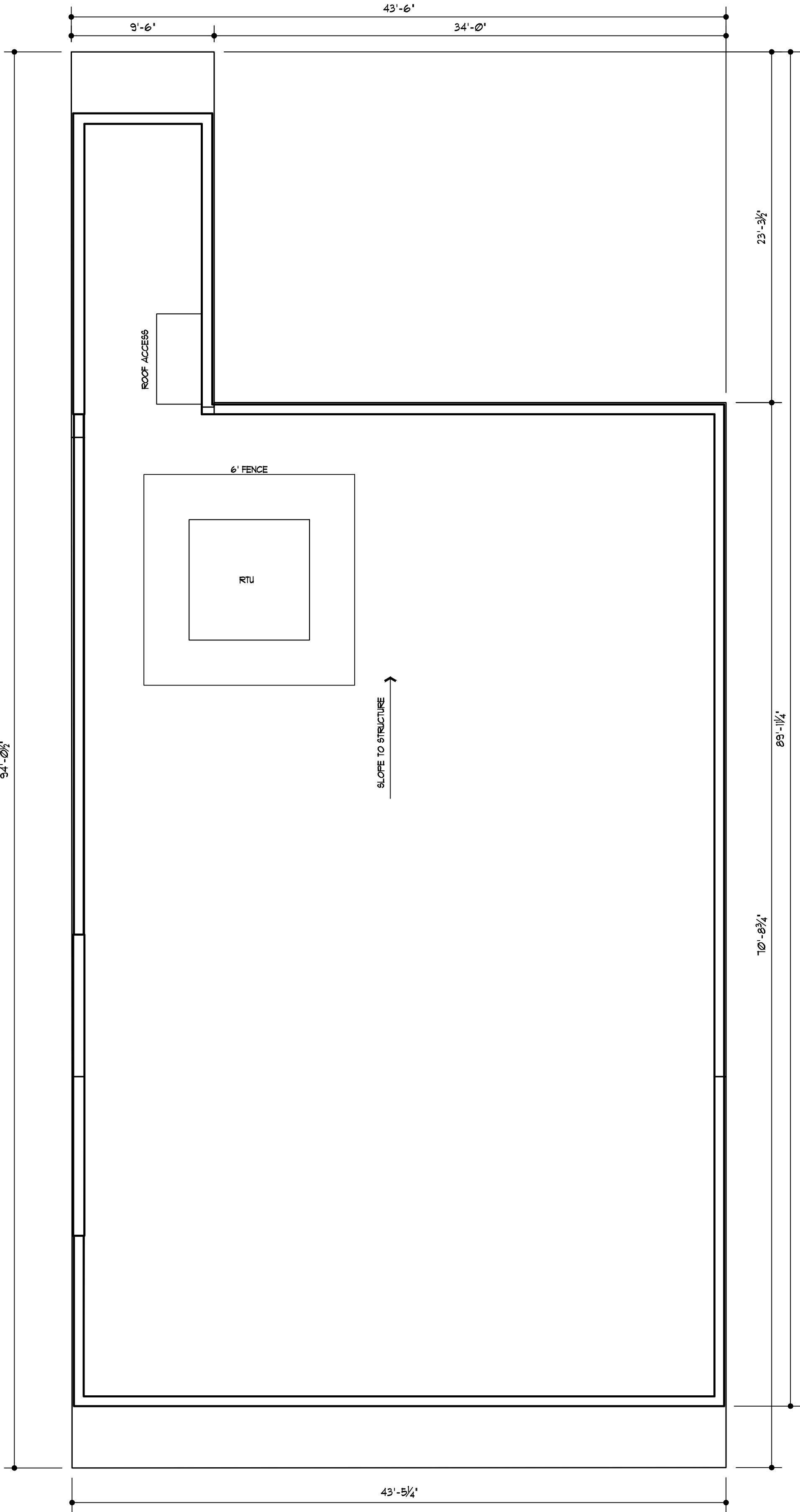
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FOURTH LEVEL  
FLOOR PLAN

A5.0

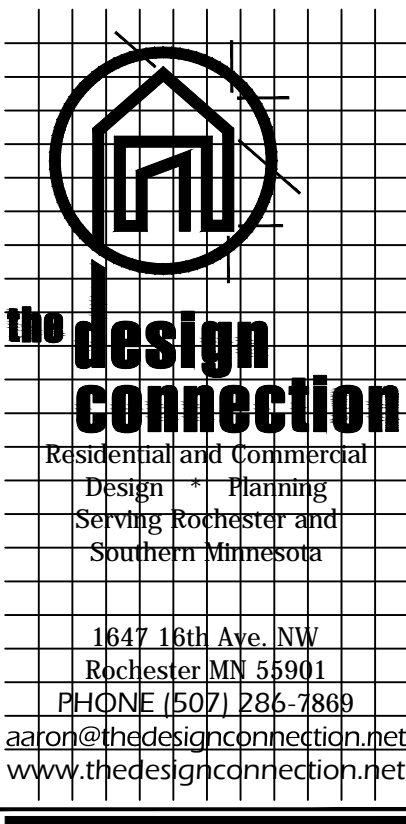




1 ROOF LEVEL  
SCALE: 3/16"=1'-0" (LARGE FORMAT)



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ROOF LEVEL

A6.0





SOUTHEAST VIEW



SOUTHWEST VIEW



NORTHEAST VIEW



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112 LAKE ST  
MINNESOTA

PROJECT #: 20238  
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CHECKED BY: MIB/CDB  
FINAL DATE:

PRINTED: Oct 09, 2020

EXTERIOR RENDERINGS

EX2.0





SOUTHEAST VIEW - FUTURE DEVELOPMENT



SOUTHWEST VIEW - FUTURE DEVELOPMENT



NORTHEAST VIEW - FUTURE DEVELOPMENT



112 LAKE ST  
MINNESOTA

|             |         |
|-------------|---------|
| PROJECT #:  | 20238   |
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| FINAL DATE: |         |

|                     |              |
|---------------------|--------------|
| PRINTED:            | Oct 09, 2020 |
| EXTERIOR RENDERINGS |              |

EX3.0





November 5, 2020

RE: Application for Proposed Development at 112 E Lake St  
CC: Andrew Frenz, City of Minneapolis  
Commissioners, Minneapolis Planning Commission  
Lisa Bender, City Council President

To Whom It May Concern:

I am writing on behalf of the Whittier Alliance Neighborhood Organization to express concerns about the application for a new development at 112 E Lake St, as it is currently proposed. We believe that small but meaningful changes to the building could result in a significantly better project for our community at such a critical time and on such a crucial site.

This development will set the tone for the pending redevelopment of the former Kmart parcel. It will be the entrance to our neighborhood from the under-construction transit hub and multi-modal investment by I-35W. The new Lake Street entrance to the Midtown Greenway is less than a block away. This site is the first of several which will need to be rebuilt or redeveloped from the ground up after the unrest in June. We ask that the City, and Mr. Tindall, consider this project in the physical and social context of our community and give it the attention and time that reflects the prominent placement of the building and the redevelopment soon to come. We fully understand that this redevelopment was forced by the unrest, and we want to partner with Mr. Tindall and the City to develop a quality, inviting building that will influence this corridor for decades to come.

**We have several specific concerns about the building as proposed, which is insufficiently attentive to the surrounding context or the needs of the neighborhood.** As a community, we have consistently advocated for affordability, for a mix of unit types and sizes, and for environmentally sustainable development—all goals in line with the 2040 Comprehensive Plan (particularly Goals 3, 5, 6, 9, and 10). This project does not currently meet those objectives. Any steps to improve the project in these dimensions would be welcomed by the neighborhood and would do much to mitigate our concerns.

Despite these broader and longstanding community concerns, for today **we would like to particularly call the City's attention to the design of the building, particularly the eastern facade, and its critical role as an entrance to the neighborhood.** The eastern facade of this building faces an undeveloped stretch of land between it and the coming Greenway entrance and the transit hub at I-35W. This wall acts as a prominent entrance to the neighborhood, not a secluded alley, and is likely to remain that way for the foreseeable future.

There are several design changes which could significantly upgrade the experience of this building for the neighborhood and make it more appealing as a future retail space and more attractive to potential tenants. For example:

- Increased glazing, particularly on the ground floor of this highly visual entrance
- Streetscaping, planters, or other "green" features, such as a green wall
- Mural, artistic grating, or other designed element (which could also be featured on the blank wall of the protruding stairwell)



- Integrating the stairwell more holistically in design of the building, rather than creating a second level blank wall
- Upgraded materials, potentially patterned metal siding, brick, or architectural details that add depth to the building's appearance
- Increased and creative lighting to help link transit up with active development
- Inclusion of outdoor space, potentially a patio out back that could be used by a restaurant tenant (even at the cost of the parking space) or balconies that would add architectural detail and make the project more appealing to tenants

All these recommendations are in line with directives from the city in the Minneapolis 2040 Plan. We have included, as an appendix, a starting list of those policies and action items we find most relevant to the development.

Our goal is not to hinder the project, but to provide Mr. Tindall and the City with an understanding of what this community needs and the support needed to make these changes. If increased costs are a challenge, we would support or even encourage increased density to improve the financial feasibility of the project. We are seeking to find pro bono architectural consulting services which could aid the applicant in exploring creative solutions to raise this building to the standards the site calls for and that we are used to seeing. We would also be willing to help the applicant in seeking and applying for any facade grants or other available resources. We believe this building can anchor a vibrant, revitalized stretch of our Whittier neighborhood.

After an initial meeting with the architect to share the project, the applicant actively chose to withdraw from engagement with the community on this project and declined to give us the opportunity to share more about the surrounding context and work alongside the developer to, together, create a high-quality project. It is unfortunate that the owner chose to not to take an opportunity to learn more about the context and improve the proposal. In accordance with the City's stated goal to: "Actively build the community's capacity to strengthen authentic engagement through neighborhood associations and City advisory committees and to facilitate meaningful resident, business owner and property owner input into City policies, programs and procedures" (Policy 81.a), we ask the Planning Commission to direct the owner and architect to reengage with Whittier Alliance and surrounding neighbors and then resubmit this proposal. We know timelines are tight and our volunteers are available and committed to making this work.

**As it stands now, however, we cannot support and must firmly oppose this project.** This project fails to deliver on goals of affordability, sustainability, or walkability. It puts a harsh facade up as the welcome sign to Whittier. The City recently spent millions of dollars to acquire the ability to transform this critical node, and MnDOT has spent more than \$150 million on the I-35W Transit/Access project. It would be a tragic waste of that investment to start off this opportunity with lackluster development.

Thank you for the forum to provide our feedback. This project was discussed at a public meeting to which the applicant was invited (but did not attend), and this letter was approved by vote of the Whittier Alliance Board. We are eager to work with the City and Mr. Tindall to develop a dynamic, inviting project at 112 E Lake Street. We can do better.

Sincerely,  
**Kaley Brown**  
 Executive Director, Whittier Alliance



**Appendix of 2040 Comprehensive Plan policies linked to the neighborhood recommendations for this project *[not exhaustive]*:**

- Policy 6.c: “Require windows and window treatments on buildings that allow clear views into and out of the building.”
- Policy 6.d: “Ensure that buildings incorporate design elements that eliminate long stretches of blank, inactive exterior walls through provision of windows, multiple entrance doors, green walls, and architectural details.”
- Policy 6.y: “Encourage building designs that reflect the unique site and context where they lie within the city.”
- Policy 7.c: “Require developers to implement public realm improvements called for in the citywide framework in conjunction with approvals for building construction and site modification.”
- Policy 7.f: “Encourage and identify opportunities to integrate green roofs, living walls, and porous pavement into development, acknowledging that these practices are not meant to be a substitute for ground-level landscaping of sites as landscaping provides both a natural amenity and aesthetic beauty to the urban landscape.”
- Policy 7.g: “Encourage boulevard landscaping and improvements, in accordance with applicable City policies and regulations.
- Policy 9.d: “Integrate exterior building lighting design to attune with building designs and landscaping.”
- Policy 9.f: “Encourage additional pedestrian-scale, exterior lighting in areas with high pedestrian traffic such as transit station areas and Goods and Services corridors.”
- Policy 58.c: “Support community efforts to brand and market retail districts and corridors as cultural districts and cultural corridors.”
- Policy 80.h: “Focus active uses on the ground floor of buildings along main pedestrian routes leading to and facing METRO stations.”